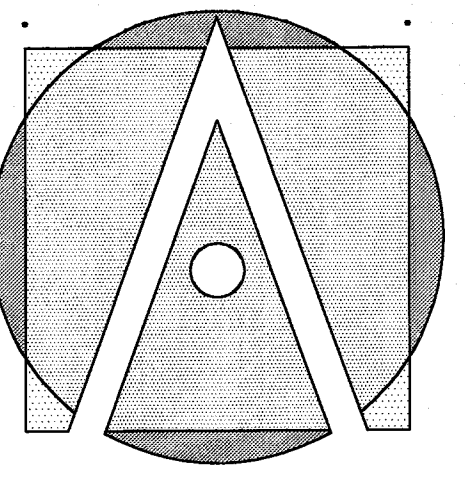




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THE HOLLOWCREST

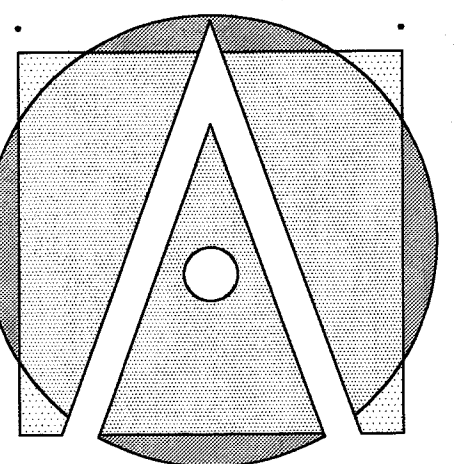
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DRAWING DESCRIPTION
COVERSHEET



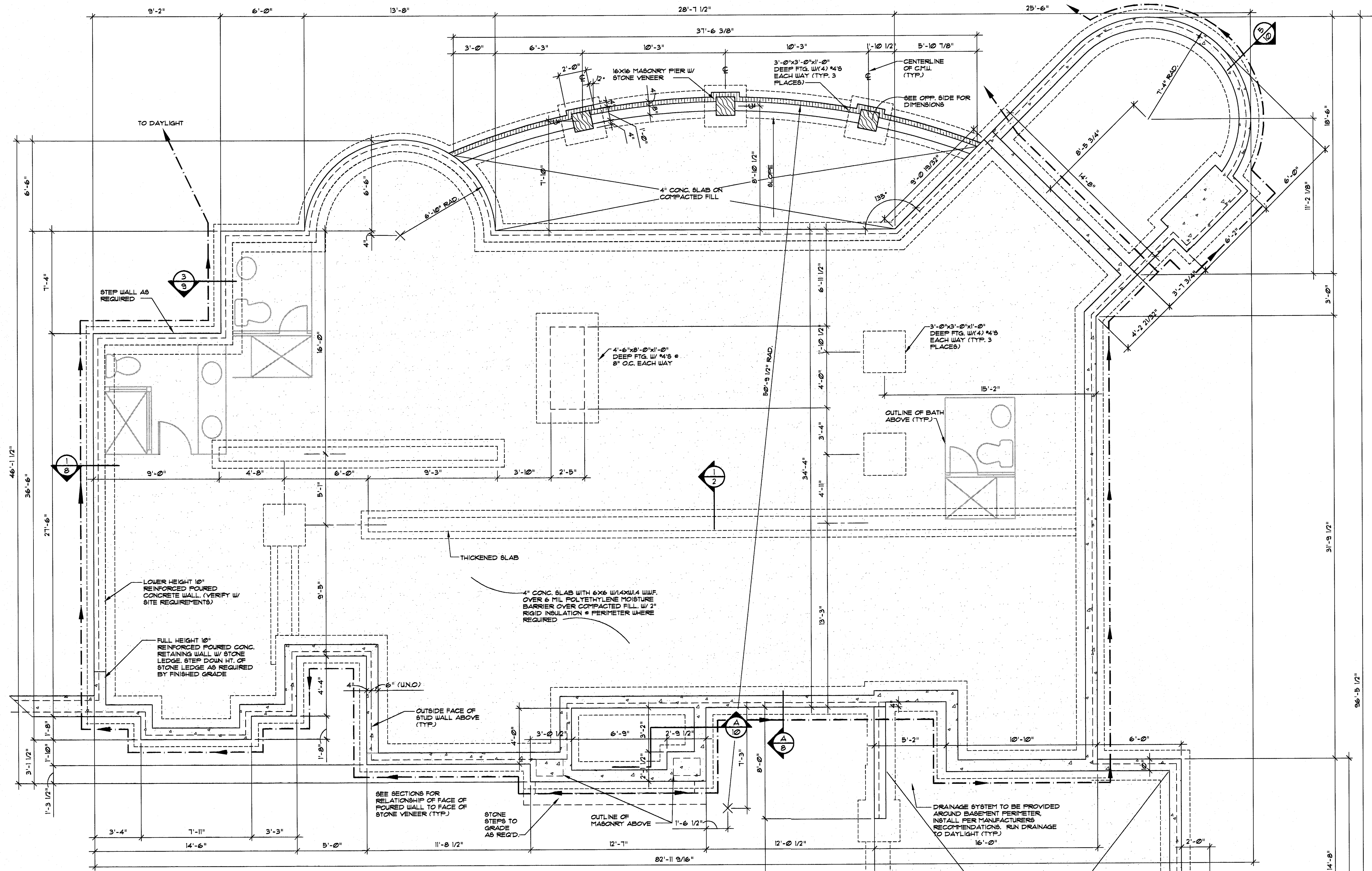
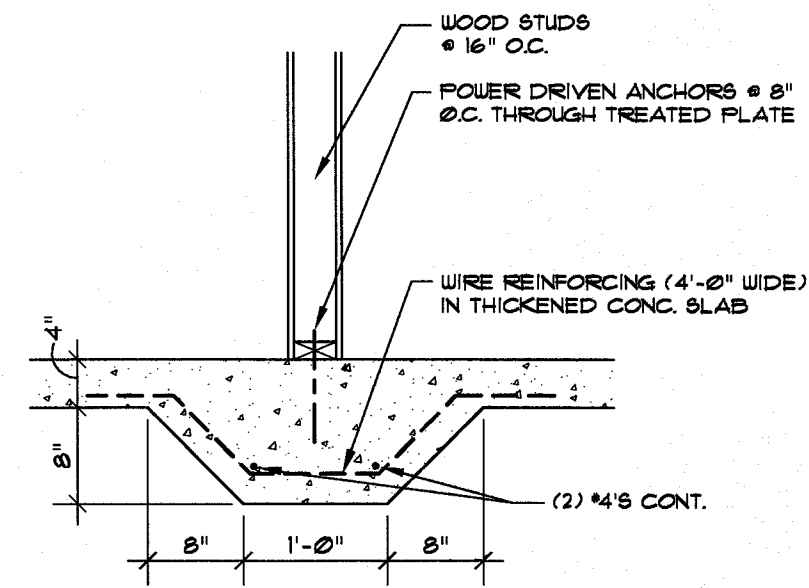
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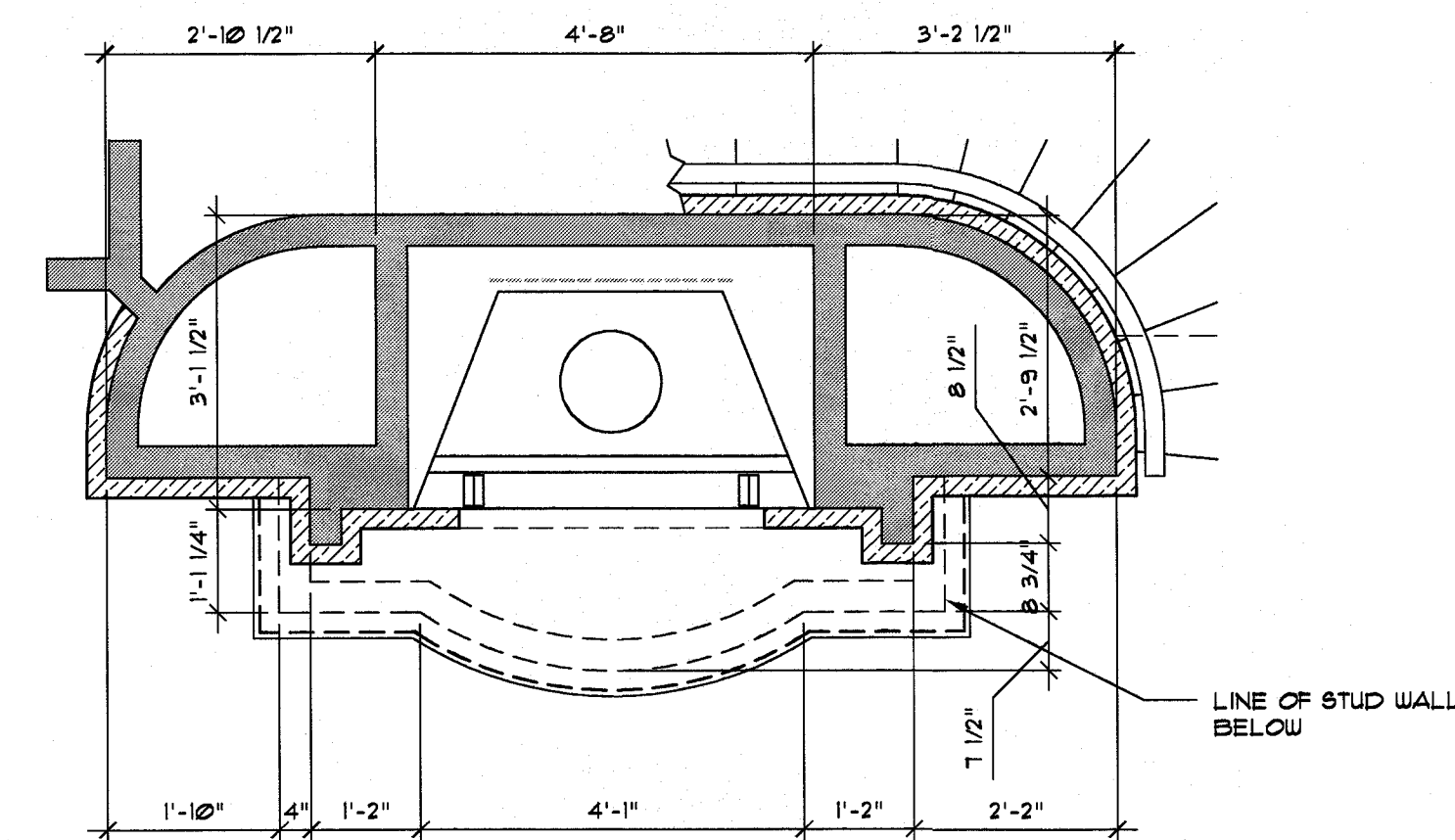
3-28-08 CLARITY DIMENSIONS
B-2-06 CORRECT DIM 21'-6" ON FAR LEFT

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FOUNDATION PLAN

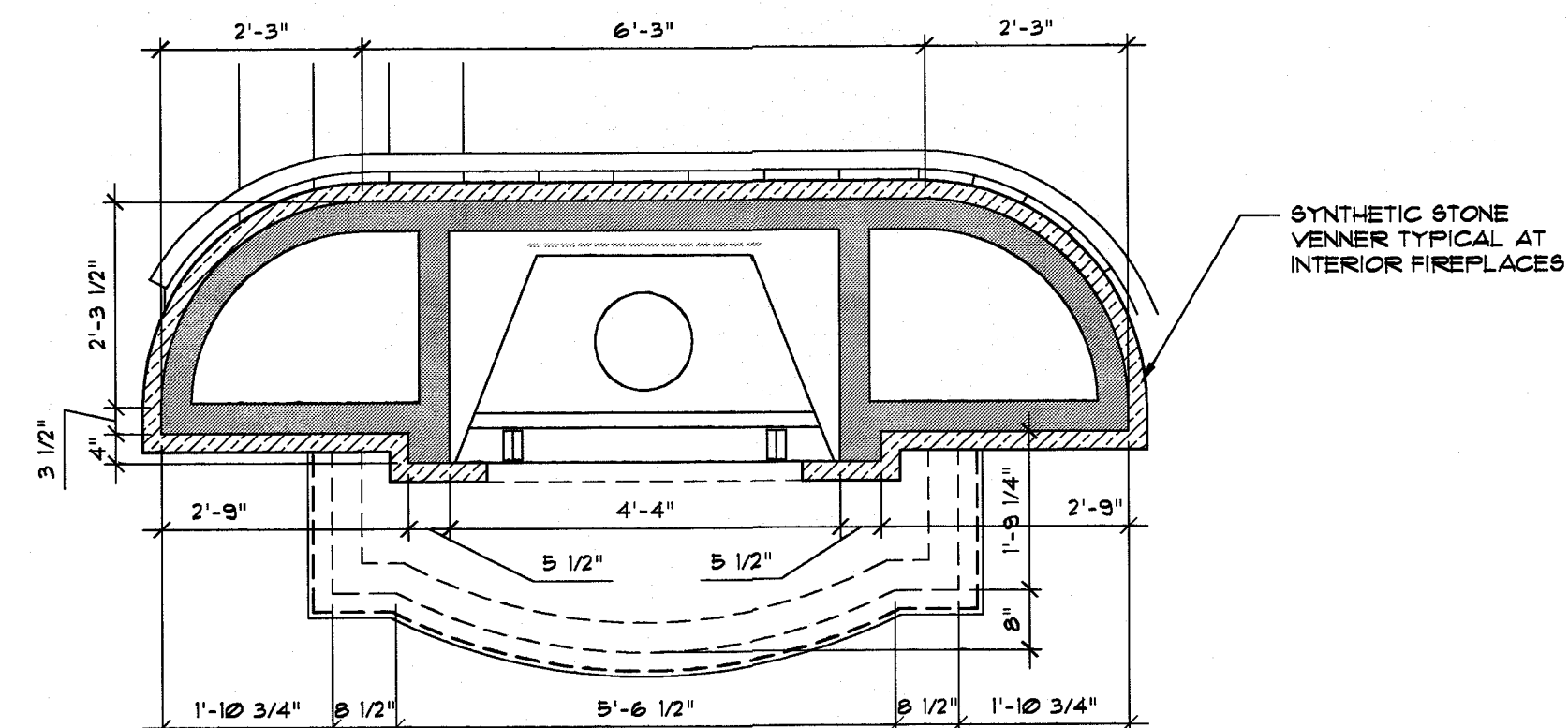
DETAIL AT THICKENED SLAB
3/4" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"



REC. ROOM FIREPLACE PLAN
1/2" = 1'-0"



GREAT ROOM FIREPLACE PLAN
1/2" = 1'-0"

GENERAL NOTES

A. GENERAL:

1. AT THE TIME OF CREATION, PLANS CONFORM TO "CABO ONE AND TWO FAMILY DWELLING CODES" OR THE "INTERNATIONAL RESIDENTIAL CODE," HOWEVER MODIFICATIONS MAY BE NECESSARY TO COMPLY WITH LOCAL AND STATE CODES.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
3. CONTRACTOR SHALL COMPLY WITH THE CONTENTS OF THE SPECIFICATIONS FOR THIS HOUSE.
4. ALL WOOD USED IN CONSTRUCTION OF DECKS AND STEPS SHALL BE TREATED. FASTENERS FOR TREATED WOOD (NAILS, BOLTS, HARDWARE, ETC.) SHALL BE GALVANIZED.
5. CONTRACTOR SHALL INSTALL GROUND FAULT INTERRUPT OUTLETS AS PER CODE.
6. INSTALL ROOFING MATERIALS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR THE AREA AND CLIMATE, INCLUDING BUT NOT LIMITED TO SHINGLES, TILES, FELTS, FLASHING, AND FASTENING DEVICES.
7. HEARTH DIMENSIONS DETERMINED BY CODE.
8. INSTALL ALL EXTERIOR FINISH MATERIALS PER MANUFACTURER'S RECOMMENDATIONS (I.E. CONTROL JOINTS, ATTACHMENT/ANCHORING DEVICES, FLASHING, SEALANTS, ETC.)

B. FRAMING:

1. JOIST SPANS WERE DETERMINED ON THE BASIS OF THE ALLOWABLE STRESSES IN THE "1989" GRADING RULES OF THE SOUTHERN PINE INSPECTION BUREAU, GRADE NUMBER TWO (2) KILN DRIED.
2. PROVIDE DOUBLE TRUSSES BELOW ALL PARALLEL PARTITIONS, ABOVE AND AROUND ALL OPENINGS NOT INDICATED ON DRAWINGS.
3. PROVIDE SOLID BLOCKING BETWEEN FLOOR TRUSSES UNDER WALLS THAT ARE PERPENDICULAR TO FLOOR JOISTS.
4. SHEATH ALL EXTERIOR WALLS WITH NOMINAL 1/2" STRUCTURAL GRADE 2 PLYWOOD OR NOMINAL 1/2" OSB (ORIENTED STRAND BOARD).

C. VENTILATION:

1. PROVIDE CONTINUOUS BAFFLED RIDGE VENTS ON ALL ROOFS. LOCATE DOUBLE RIDGE BEAMS TO ALLOW FOR PROPER INSTALLATION OF RIDGE VENTS.
2. PROVIDE CONTINUOUS ROOF TO WALL VENTS AT ALL JUNCTURES OF SLOPED ROOFS AND VERTICAL WALLS.

D. FOOTINGS:

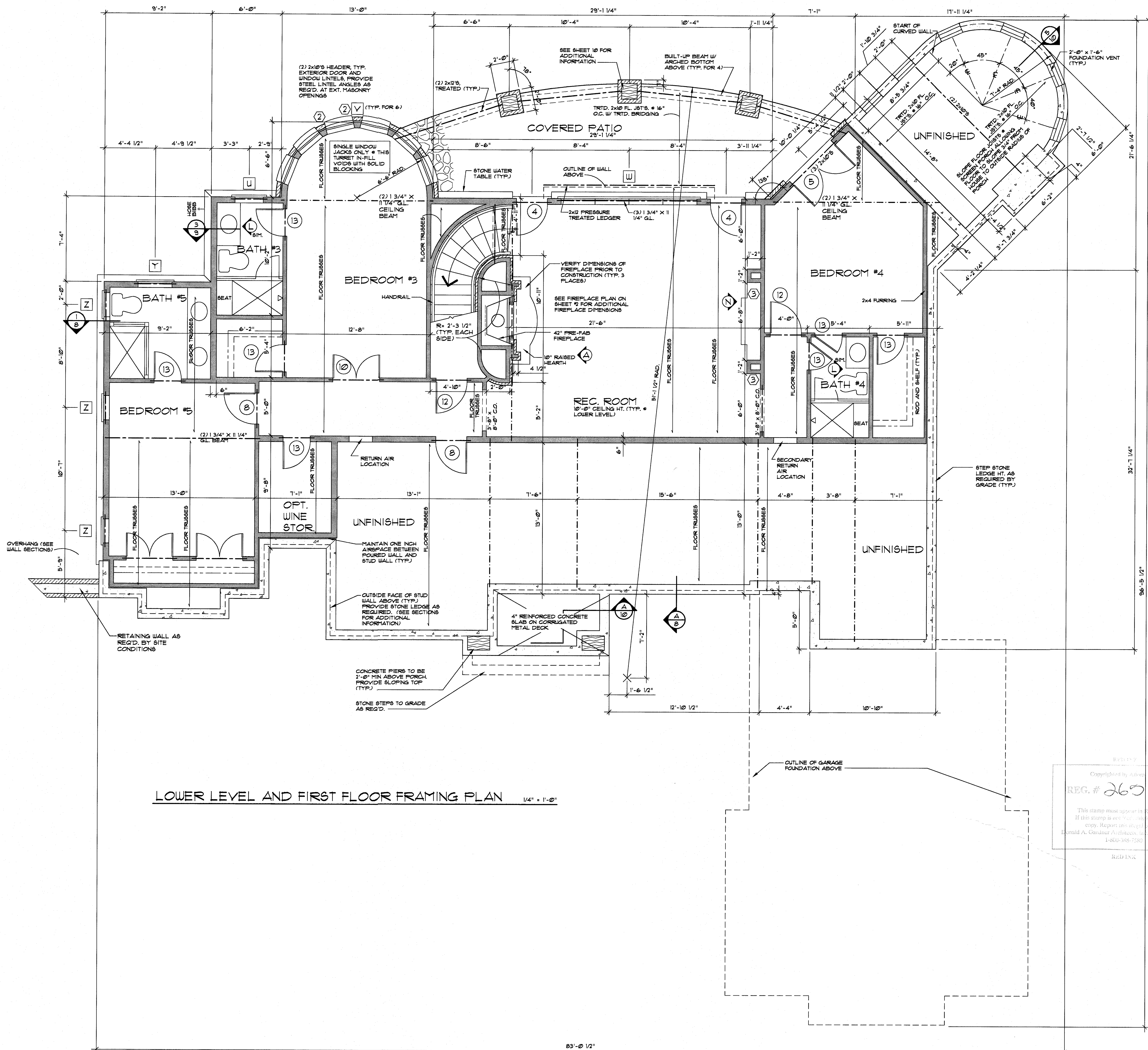
1. CARRY ALL FOOTINGS TO FIRM UNDISTURBED BEARING.
 - A. 36" x 12" FOOTING FOR 10" FOUNDATION WALL WITH (3) #4 REIN. RODS CONTINUOUS.

E. BASEMENT CONSTRUCTION:

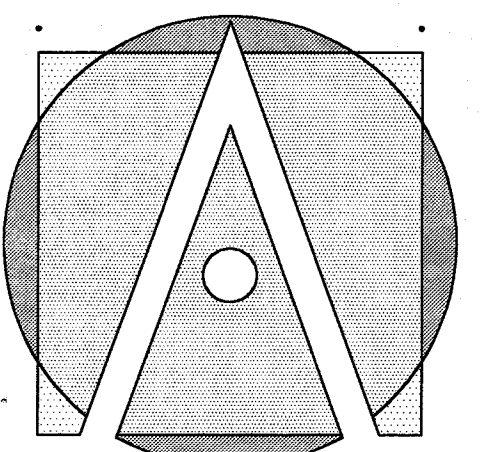
1. BASEMENT WALL CONSTRUCTION SHALL BE REINFORCED MASONRY OR REINFORCED CONCRETE, AS REQUIRED BY LOCAL CODES.
2. UNLESS NOTED OTHERWISE FLOOR FRAMING SHALL CONSIST OF NOMINAL 16" DEEP WOOD FLOOR TRUSSES.
3. FLOOR TRUSS SYSTEM SHALL BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER AND COMPLETE INSTALLATION DETAILS SHALL BE PROVIDED.
4. COORDINATE ACTUAL FLOOR TRUSS DIMENSIONS WITH THE SELECTED TRUSS MANUFACTURER.
5. PROVIDE BLOCKING BETWEEN FLOOR TRUSSES UNDER WALLS THAT ARE PERPENDICULAR TO FLOOR TRUSSES.

FLOOR FRAMING LEGEND

- FL. TRUSSES 16" DEEP W.D. FLOOR TRUSSES • 16" O.C. UNLESS NOTED OTHERWISE SEE GENERAL NOTES
- DOUBLE TRUSSES AS SPECIFIED BY MANUFACTURER (TYP.)
- (2) 2x10'S UNLESS NOTED OTHERWISE



LOWER LEVEL AND FIRST FLOOR FRAMING PLAN 1/4" = 1'-0"



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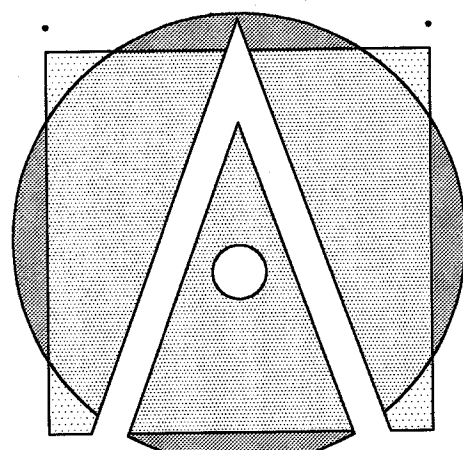
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3 14

DRAWING DESCRIPTION
LOWER LEVEL
FLOOR PLAN

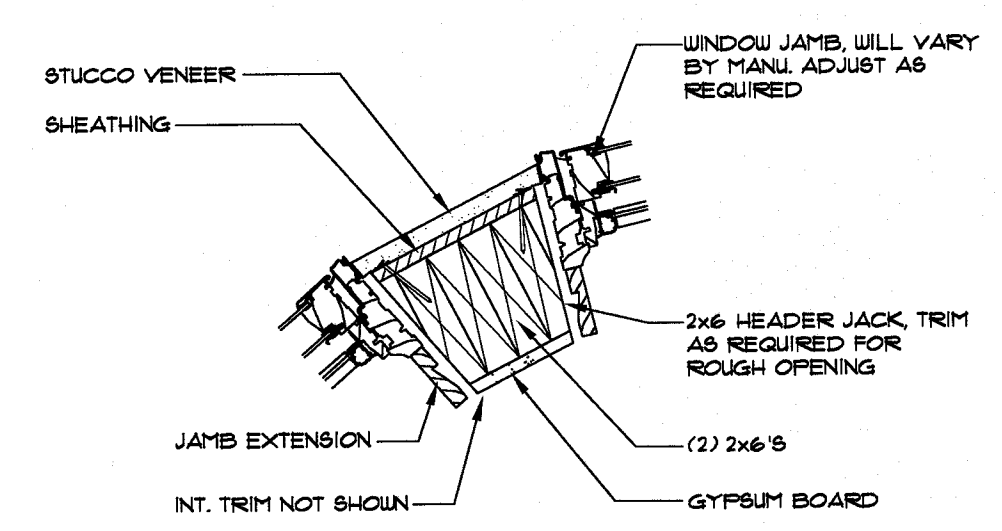
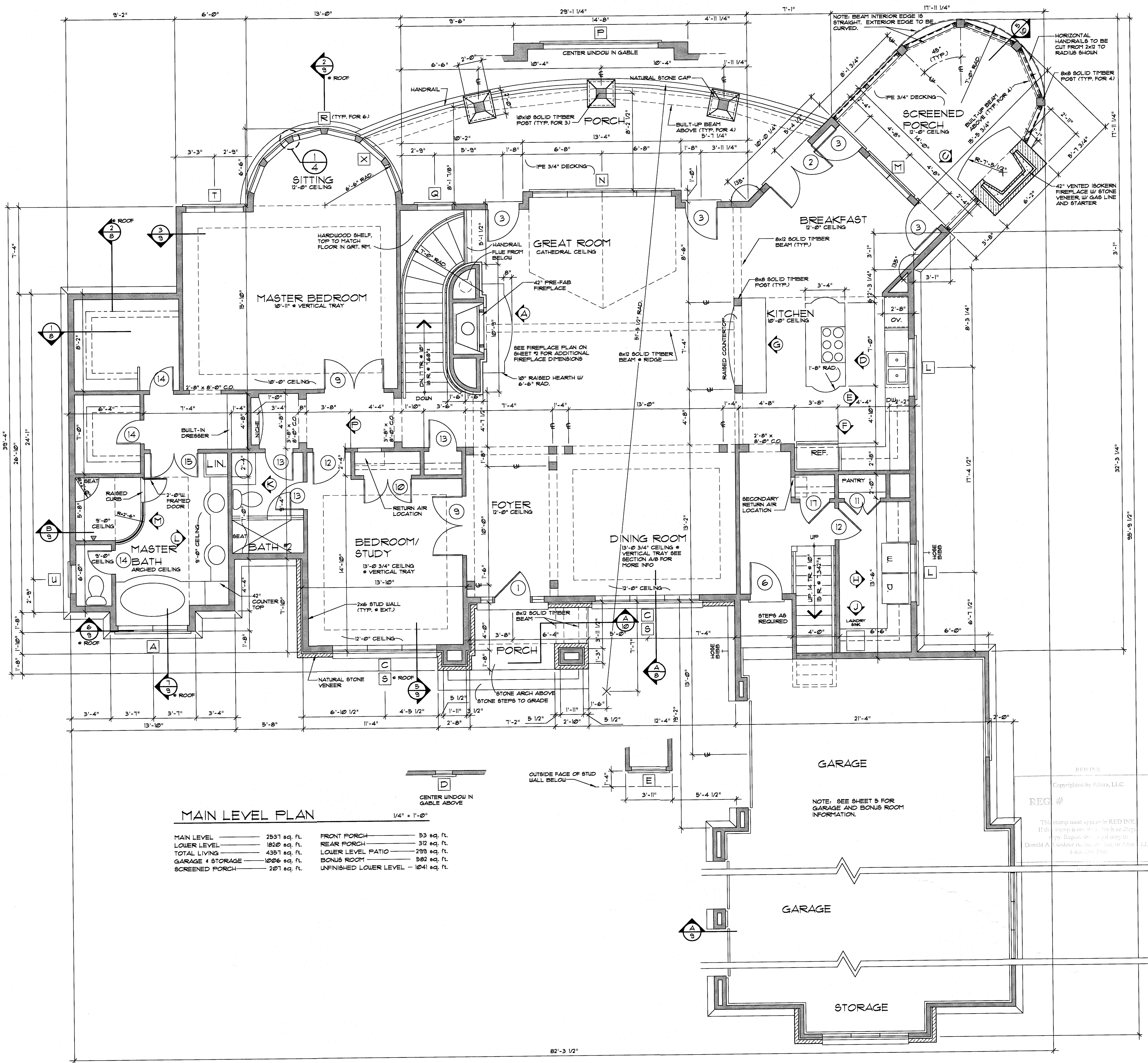


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PLAN NOTES:

1. VERIFY ALL LOCAL CODES, ENERGY TYPES, AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
2. REVIEW SELECTED MECHANICAL SYSTEMS WITH OWNER PRIOR TO CONSTRUCTION.
RECOMMENDED LOCATIONS ARE AS FOLLOWS: THE WATER HEATER MAY TYPICALLY BE PLACED IN THE BASEMENT MECHANICAL SPACES OR IN THE GARAGE. HVAC UNIT(S) MAY TYPICALLY BE PLACED IN THE MECHANICAL BASEMENT SPACES FOR THE FIRST FLOOR AND IN ATTIC FOR THE SECOND FLOOR.
HVAC EQUIPMENT IN ATTIC SPACE SHALL BE ACCESSIBLE BY AN OPENING AS LARGE AS THE LARGEST PIECE OF EQUIPMENT AND IN NO CASE LESS THAN 22"x36".
3. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
4. INSULATE AROUND ALL BATHS AND UTILITY ROOM.
5. TYPICAL WALL, 2x4'S (2x6 @ EXT.) @ 16" O.C., UNLESS OTHERWISE DIMENSIONED.
6. PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE.
7. PROVIDE DOORBELLS, TRANSFORMER, AND CHIME.



SECTION 1/4
1 1/2" = 1'-0"

MAIN LEVEL PLAN

MAIN LEVEL	2931 sq. ft.	FRONT PORCH	53 sq. ft.
LOWER LEVEL	1800 sq. ft.	REAR PORCH	312 sq. ft.
TOTAL LIVING	4351 sq. ft.	LOWER LEVEL PATIO	299 sq. ft.
GARAGE & STORAGE	1026 sq. ft.	BONUS ROOM	582 sq. ft.
SCREENED PORCH	221 sq. ft.	UNFINISHED LOWER LEVEL	1241 sq. ft.

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DRAWING DESCRIPTION
MAIN LEVEL PLAN
DOOR & WIN. SCHE.

WINDOW SCHEDULE				SYMBOL
MARK	SIZE	QUAN.	DESCRIPTION	
A	(2) 2'-11" x 5'-11"	1	CASEMENT W/ (2) 2'-11" x 2'-4" FIXED ARCHED TOP TRANSOM W/ 6'-4" RAD. & 1'-7 1/2" SHORT LEG *	
B	NOT USED			
C	(3) 2'-11" x 5'-11"	2	CASEMENT	
D	1'-5" x 3'-5"	1	FIXED W/ ARCHED TOP W/ 1'-1" RAD. & 3'-2" SHORT LEG *	
E	2'-11" x 4'-8"	1	FIXED W/ ARCHED TOP W/ 1'-10" RAD. & 4'-0" SHORT LEG *	
F	(3) 2'-5" x 2'-5"	1	FIXED	
G	(3) 2'-5" BASE	1	CASEMENT W/ ARCHED TOP W/ 6'-4" RAD. & 4'-11" SHORT LEG *	
H	(3) 2'-5" x 4'-11"	1	CASEMENT	
J	2'-5" x 4'-11"	1	CASEMENT	
K	-	-	-	
L	(2) 2'-5" x 4'-5"	2	CASEMENT	
M	(2) 2'-5" x 5'-11"	1	CASEMENT W/ (2) 2'-5" x 2'-11" FIXED TRANSOMS ABOVE	
N	(4) 2'-11" x 5'-11"	1	CASEMENT W/ (4) 2'-11" x 2'-11" FIXED TRANSOMS ABOVE	
P	9'-8" BASE W/ 1'-5" SHORT LEG	1	FIXED W/ ARCHED TOP W/ 8'-1" RAD. *	
Q	2'-11" x 5'-11"	1	CASEMENT W/ 2'-11" x 2'-11" FIXED TRANSOM ABOVE	
R	2'-5" x 5'-11"	6	CASEMENT W/ 2'-5" x 2'-11" FIXED TRANSOM ABOVE	
S	(3) 2'-11" x 2'-11"	2	FIXED	
T	(2) 2'-5" x 4'-11"	1	CASEMENT	
U	2'-5" x 4'-11"	2	CASEMENT	
V	2'-5" x 5'-11"	6	CASEMENT	
W	(4) 2'-11" x 5'-11"	1	CASEMENT	
X	-	-	-	
Y	2'-11" x 4'-11"	1	CASEMENT	
Z	2'-11" x 4'-11"	3	CASEMENT	

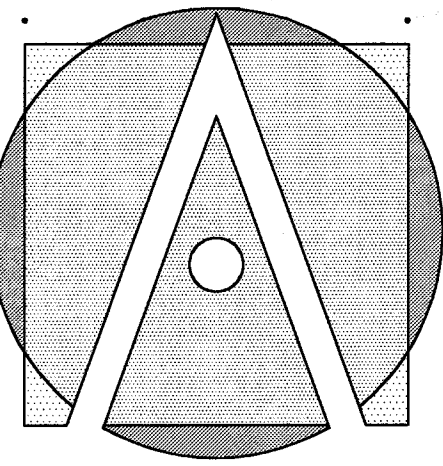
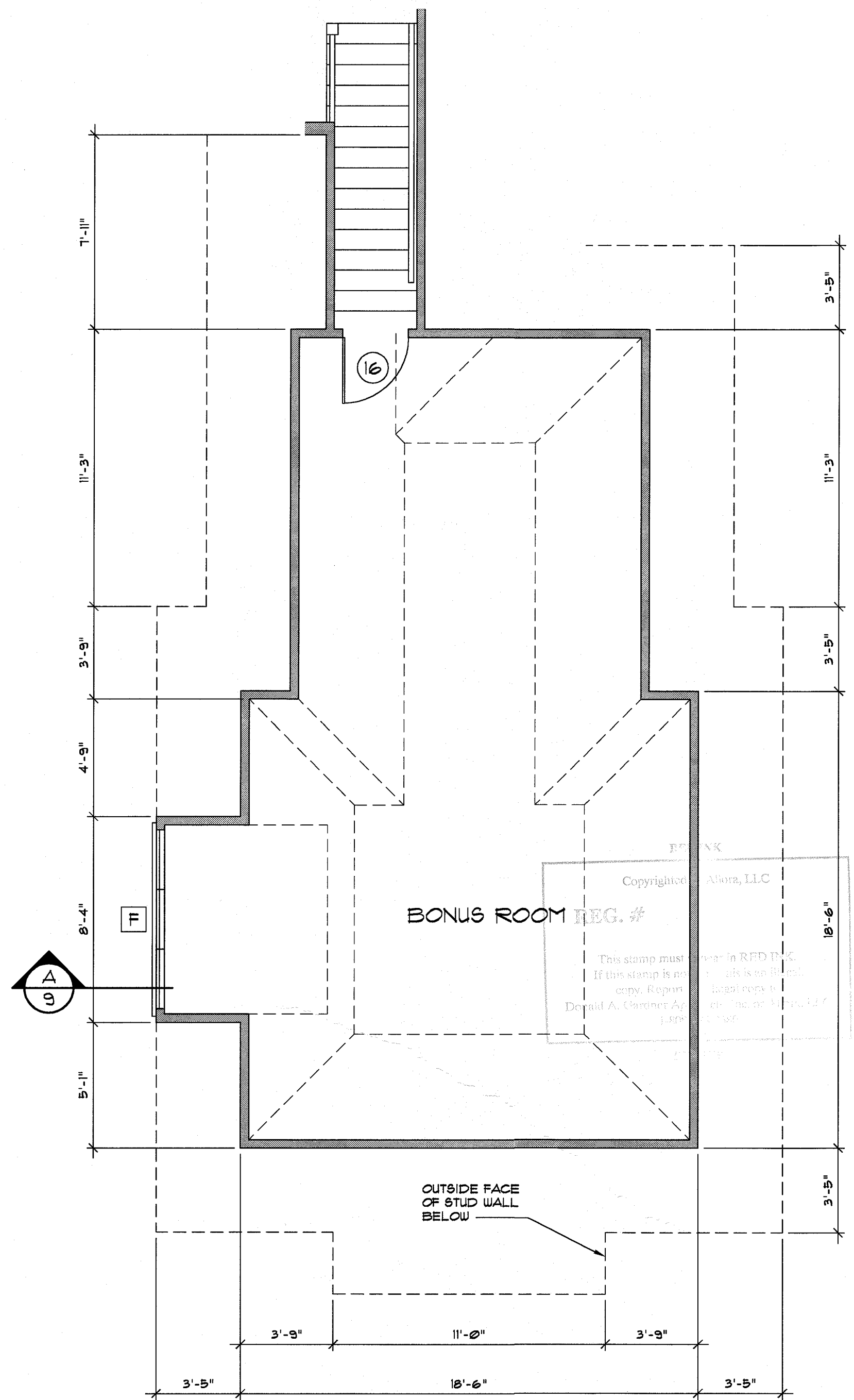
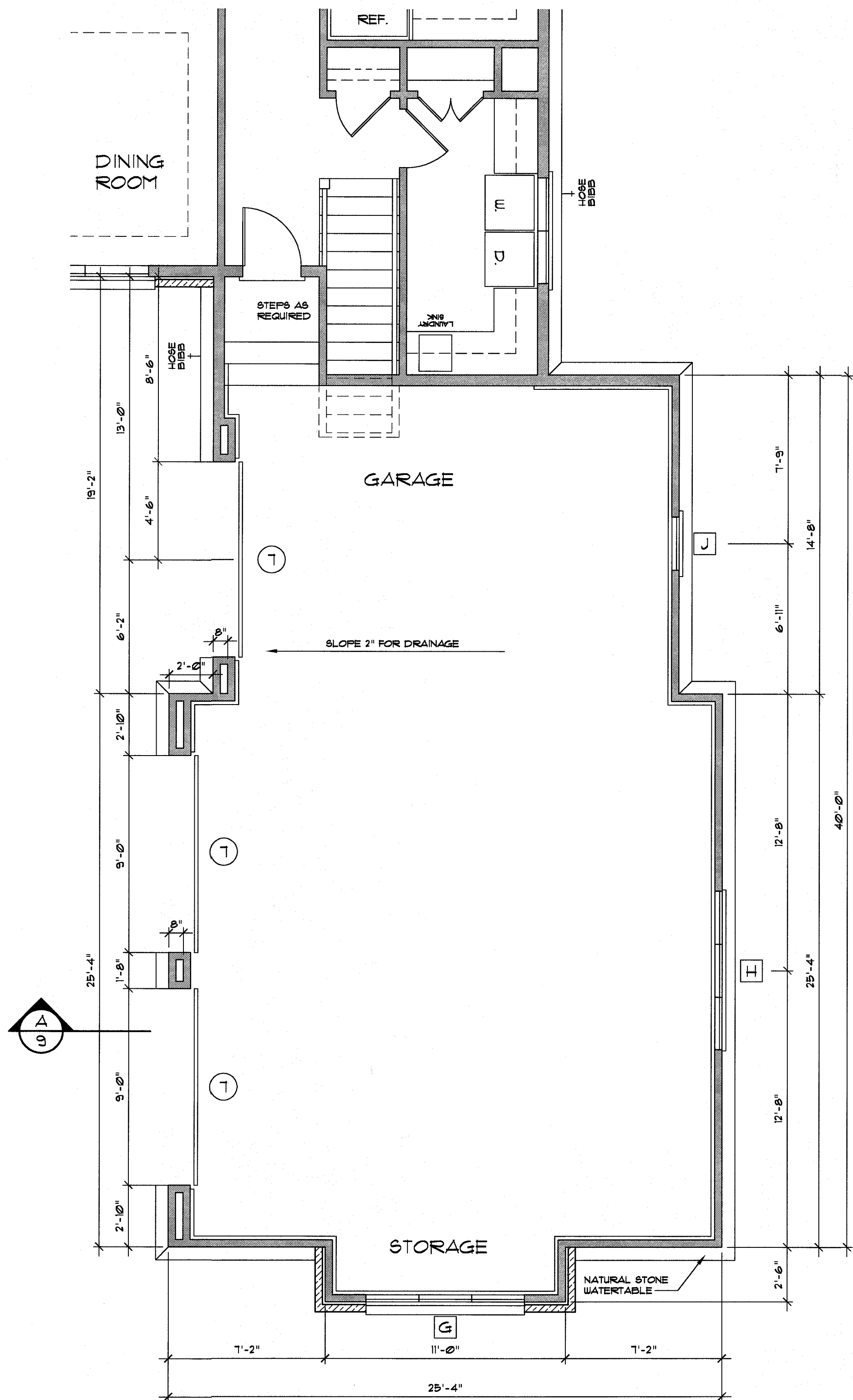
ALL WINDOWS ARE INSULATED AND WEATHERSTRIPPED.
 VERIFY LOCAL CODE EGRESS WINDOW REQUIREMENTS PRIOR TO CONSTRUCTION.
 WINDOW MANUFACTURER TO PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE.
 VERIFY WINDOW MODEL NUMBERS AND SIZES WITH MANUFACTURER BEFORE STARTING CONSTRUCTION.
 VERIFY ALL DOOR AND WINDOW TRANSOMS ALIGN
 *SEE ELEVATIONS
 SEE ELEVATIONS FOR MUNTIN CONFIGURATION

DOOR SCHEDULE				SYMBOL
MARK	SIZE	QUAN.	DESCRIPTION	
1	3'-0" x 8'-0"	1	EXT. W/12" SIDELITES AND 2'-11" ARCHED HEAD TRANSOM W/ 4'-5" RAD. , 2'-0" SHORT LEG *	
2	(2) 2'-6" x 8'-0"	1	EXT. FULL GLASS W/ (2) 2'-6" x 2'-11" TRANSOMS SIDE BY SIDE	
3	2'-8" x 8'-0"	4	EXT. FULL GLASS W/ 2'-11" TRANSOM	
4	2'-8" x 8'-0"	2	EXT. FULL GLASS	
5	(2) 2'-6" x 8'-0"	1	EXT. FULL GLASS	
6	2'-8" x 8'-0"	1	EXT. 1 HOUR FIRE-RATED	
7	9'-0" x 8'-0"	3	GARAGE, SEE ELEVATIONS FOR DESIGN	
8	2'-8" x 8'-0"	2	INT. INSULATED	
9	(2) 2'-6" x 8'-0"	2	INT.	
10	(2) 2'-0" x 8'-0"	2	INT.	
11	(2) 1'-6" x 8'-0"	1	INT.	
12	2'-8" x 8'-0"	4	INT.	
13	2'-4" x 8'-0"	3	INT.	
14	2'-0" x 8'-0"	3	INT.	
15	(2) 2'-0" x 8'-0"	1	INT. FROSTED GLASS DOOR (SEE ELEVATION FOR STYLE)	
16	2'-8" x 6'-8"	1	INT.	
17	2'-6" x 8'-0"	1	INT.	

* SEE ELEVATION FOR TRANSOM.

FINISH SCHEDULE LEGEND			
A - BASES	GWB - GYPSUM WALLBOARD	T - TILE	PC - PAINTED CONCRETE
B - CASINGS	P - PAINTED	S - STAIN GRADE	SC - SEALED CONCRETE
C - CROWN MOULD	CT - CERAMIC TILE	ST - STONE FLOORING	WC - WOOD CEILING
D - CHAIR RAIL	HW - HARDWOOD	HW - WOOD CEILING	W - WALLCOVERING

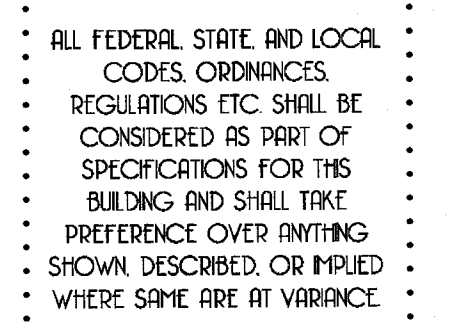
ROOM FINISH SCHEDULE					
ROOM NAME	FLOOR	WALLS	CEIL'G	BASE	CROWN
FOYER	HW	P-GWB	P-GWB	S-A	S-B-1
GREAT ROOM	HW	P-GWB	P-GWB	S-A	S-B-1
HALL BATH	HW	P-GWB	P-GWB	S-A	S-B-1
KITCHEN/BREAKFAST	HW	P-GWB	P-GWB	S-A	S-B-1
DINING ROOM	HW	P-GWB	P-GWB	S-A	S-B-1
LAUNDRY	CT	P-GWB	P-GWB	P-A	P-B
BEDROOM/STUDY	HW	P-GWB	P-GWB	P-A	P-B
BATH #2	CT	P-GWB	P-GWB	P-A	P-B
BEDROOM #2	CARPET	P-GWB	P-GWB	P-A	P-B
BEDROOM #3	CARPET	P-GWB	P-GWB	P-A	P-B
MASTER BATH	CT	P-GWB	P-GWB	P-A	P-B
MASTER CLOSET	HW	P-GWB	P-GWB	P-A	P-B
MASTER BEDROOM	HW	P-GWB	P-GWB	P-A	P-B
STAIR	HW	P-GWB	P-GWB	S-A	S-B-1
REC ROOM	CARPET	P-GWB	P-GWB	P-A	P-B
OPT. WINE	SC	P-GWB	P-GWB	P-A	P-B
OPT. BEDROOM #4	CARPET	P-GWB	P-GWB	P-A	P-B
BATH #3	CT	P-GWB	P-GWB	P-A	P-B
OPT. BATH	CARPET	P-GWB	P-GWB	P-A	P-B
MECHANICAL ROOM	SC	P-GWB	P-GWB	P-A	P-B
SCREENED PORCH	IFE	-	WC	-	-
GARAGE	SC	P-GWB	P-GWB	-	-
BONUS ROOM	HW	P-GWB	P-GWB	P-A	P-B



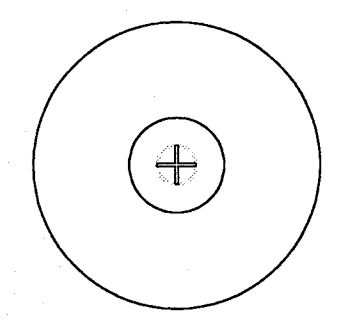
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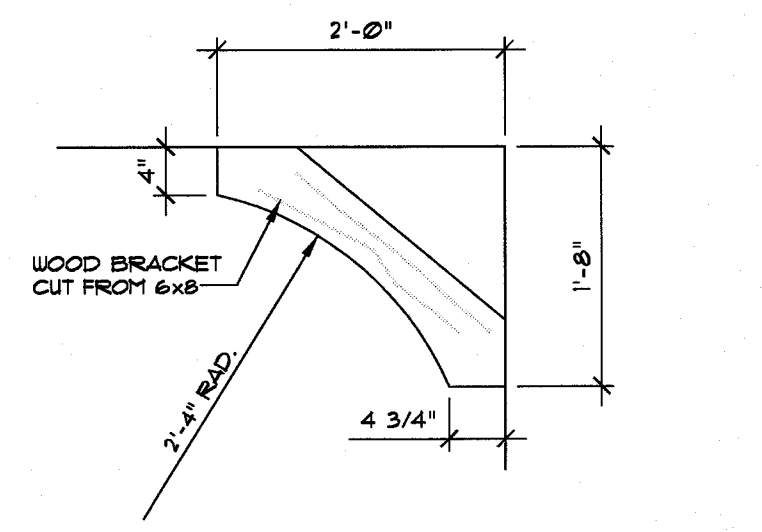


FINAL DETAIL
AND PLAN

6" = 1'-0"



EXT. HANDRAIL DETAIL 3/4" = 1'-0"



BRACKET DETAIL $3/4" = 1'-0"$
AT REAR PORCH


$$\frac{1}{4}'' = 1'-0''$$

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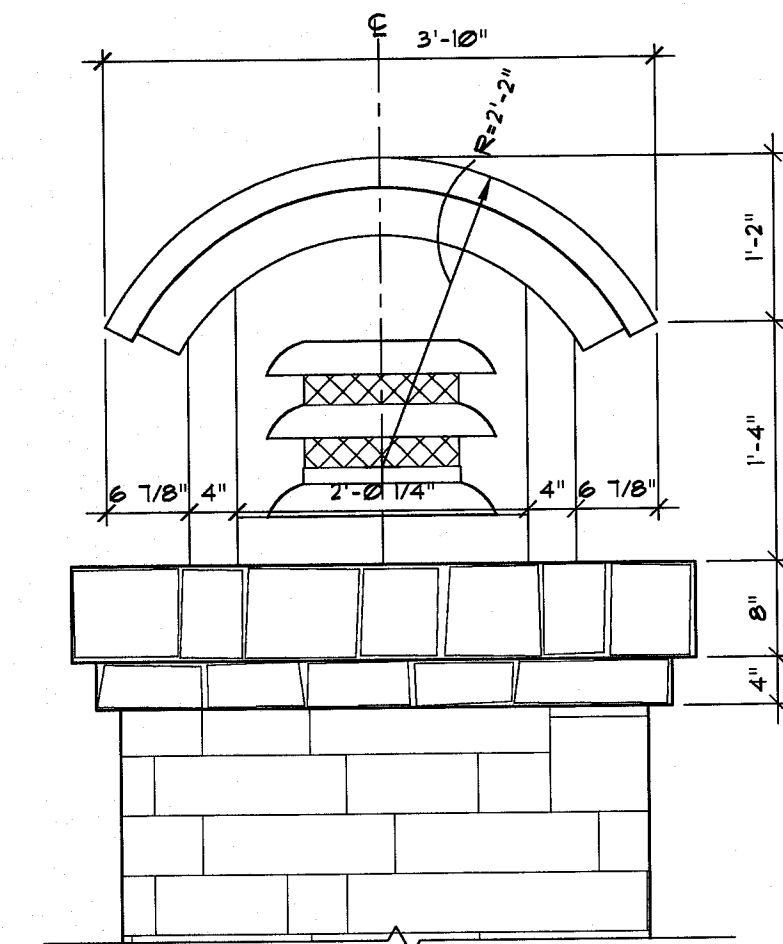
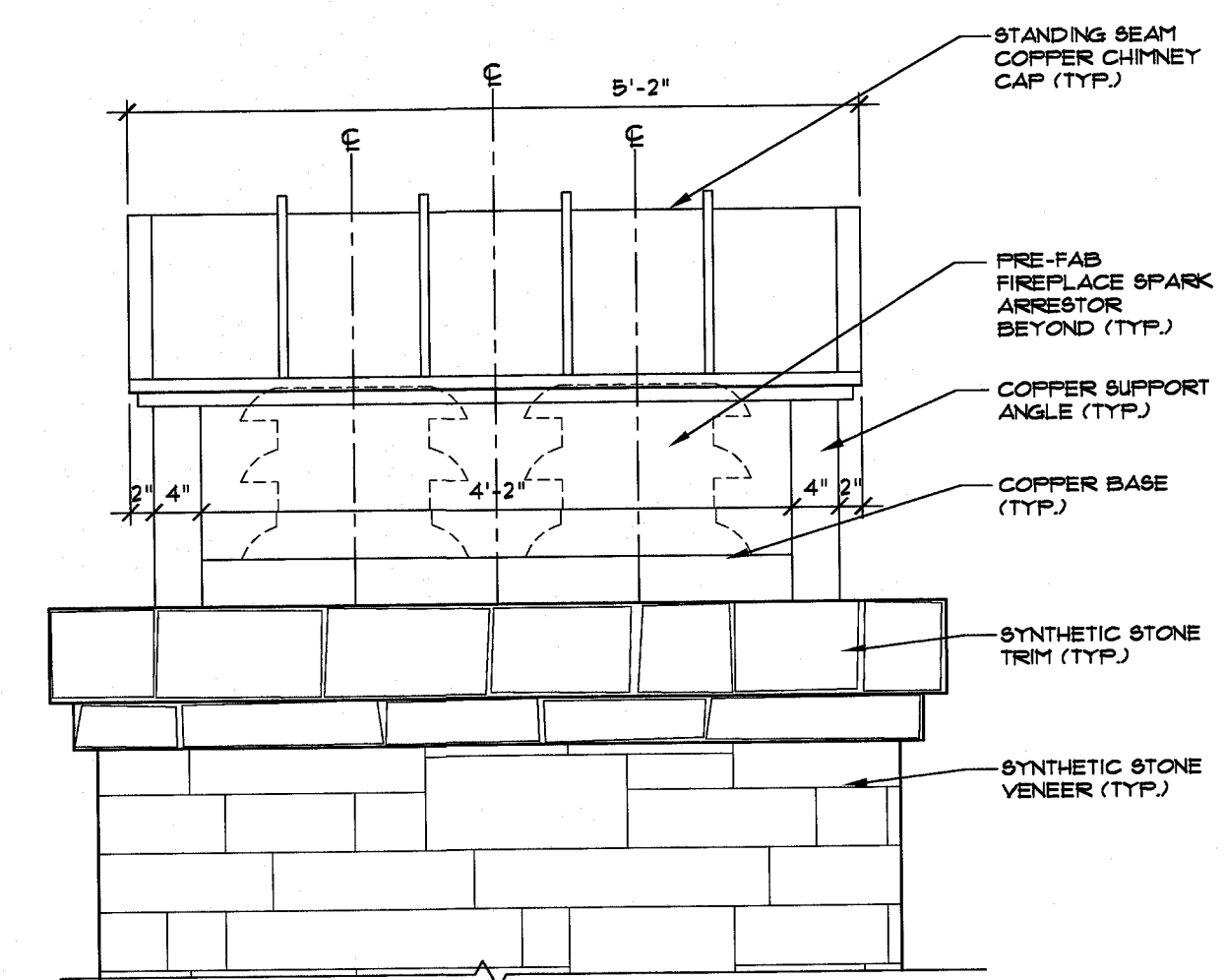
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ELEVATIONS



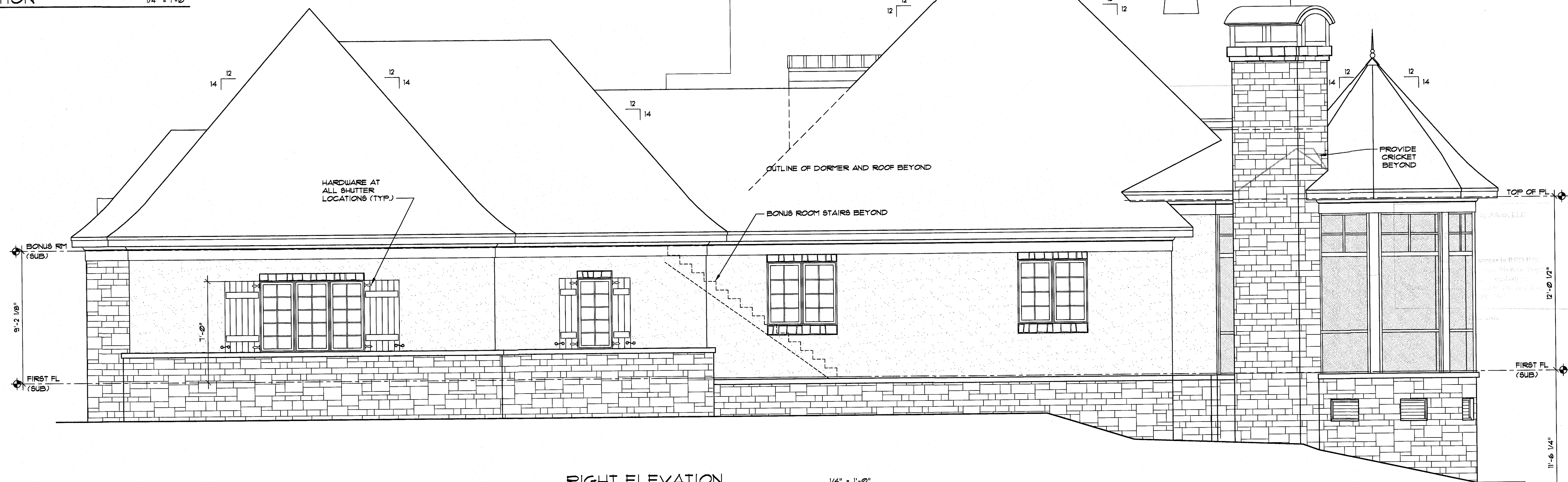
LEFT ELEVATION

1/4" = 1'-0"



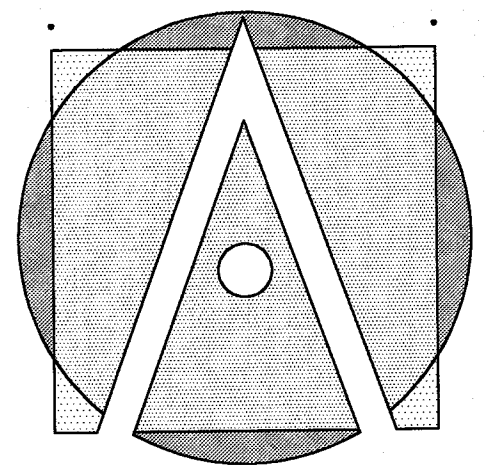
CHIMNEY DTL.

3/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"



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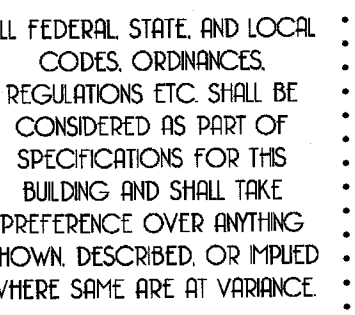
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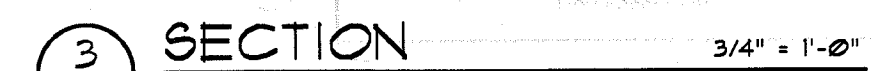
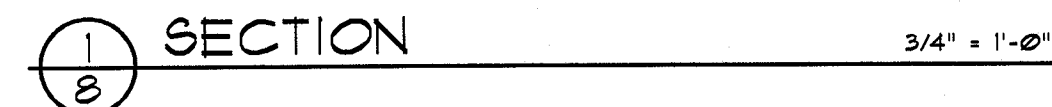
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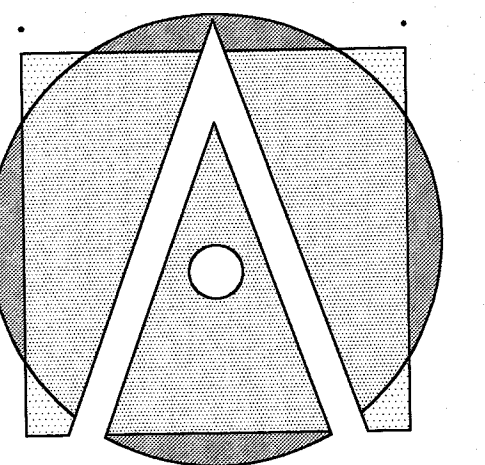
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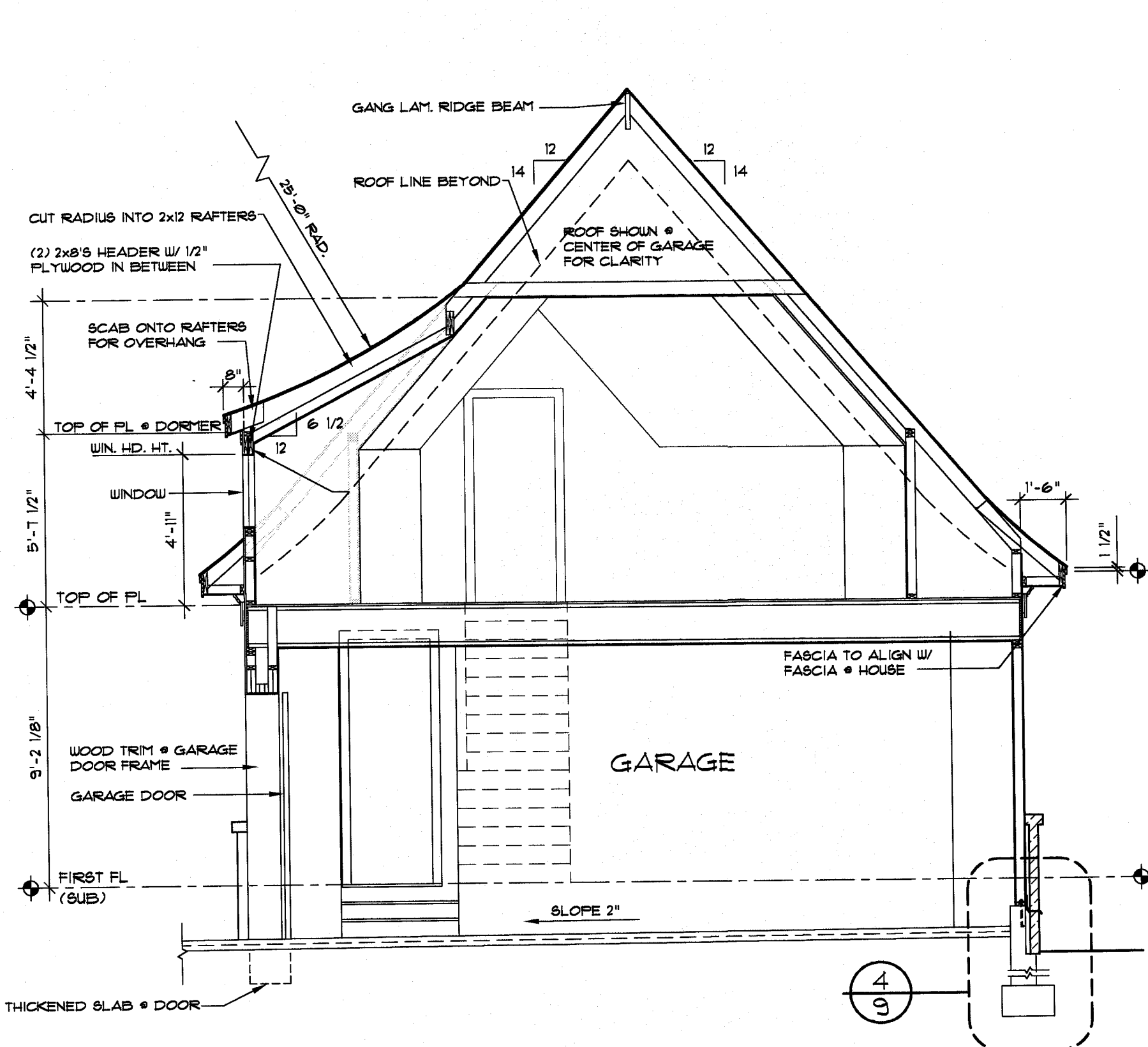
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SECTIONS	
ROOF PLAN	



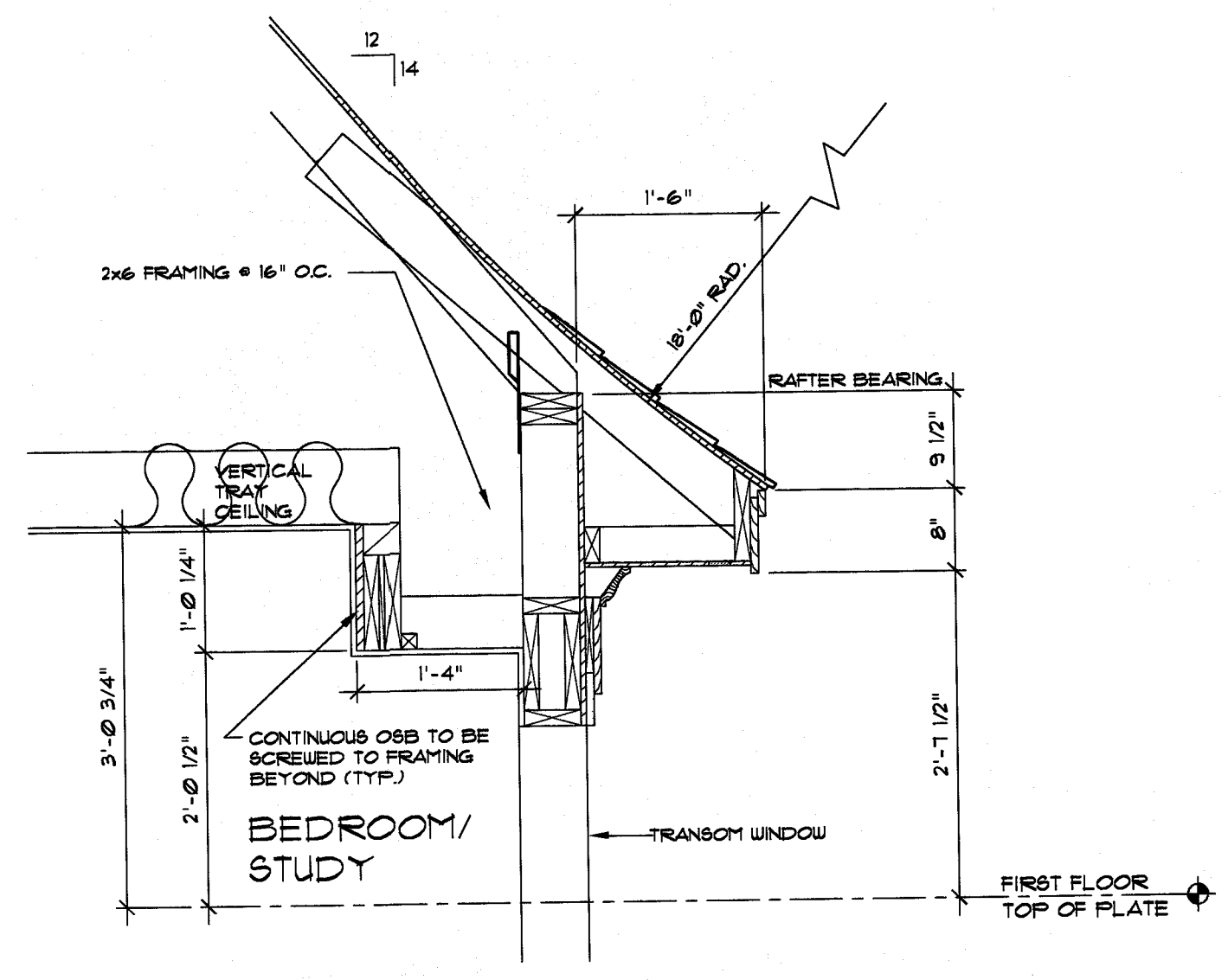


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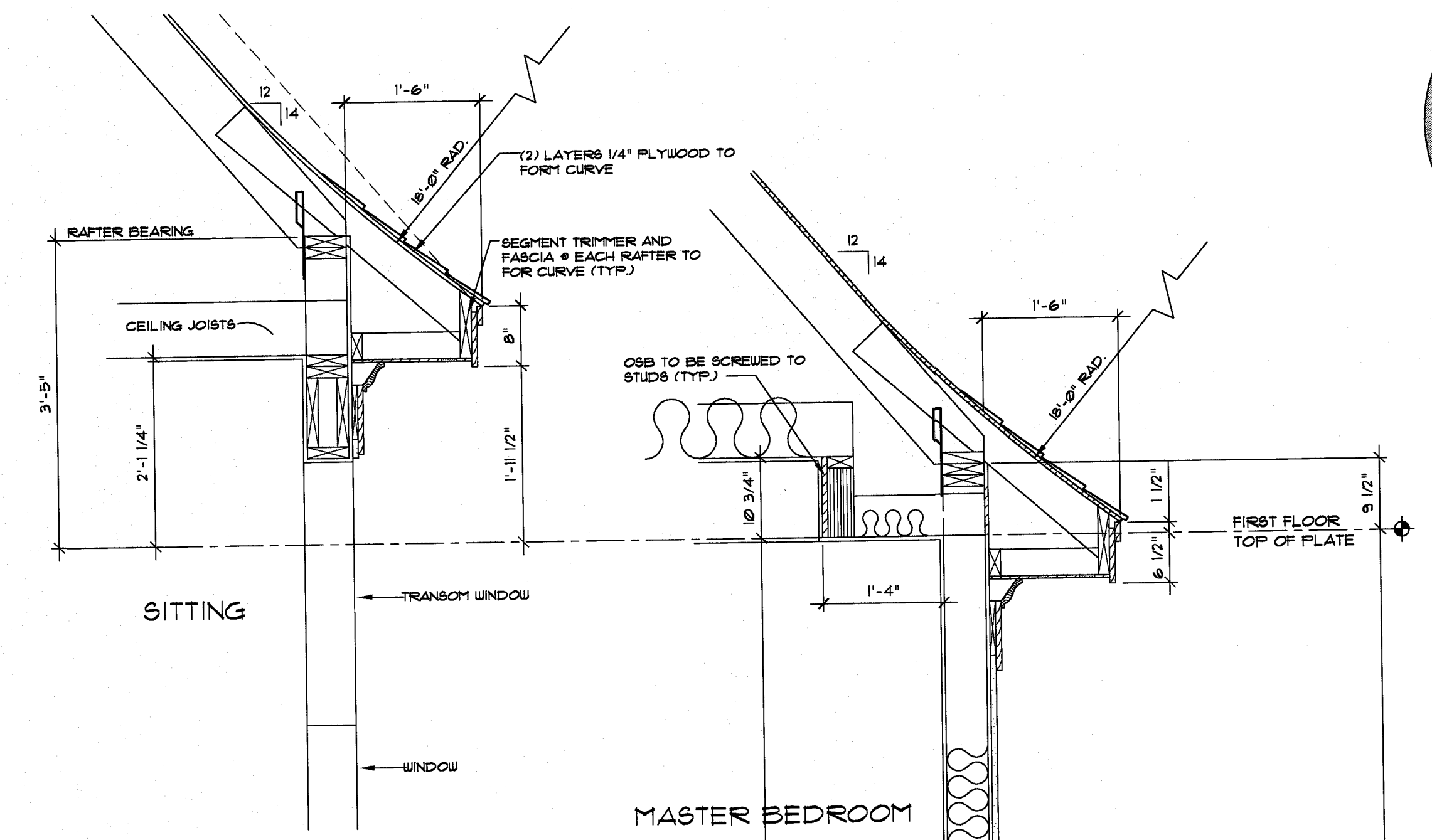
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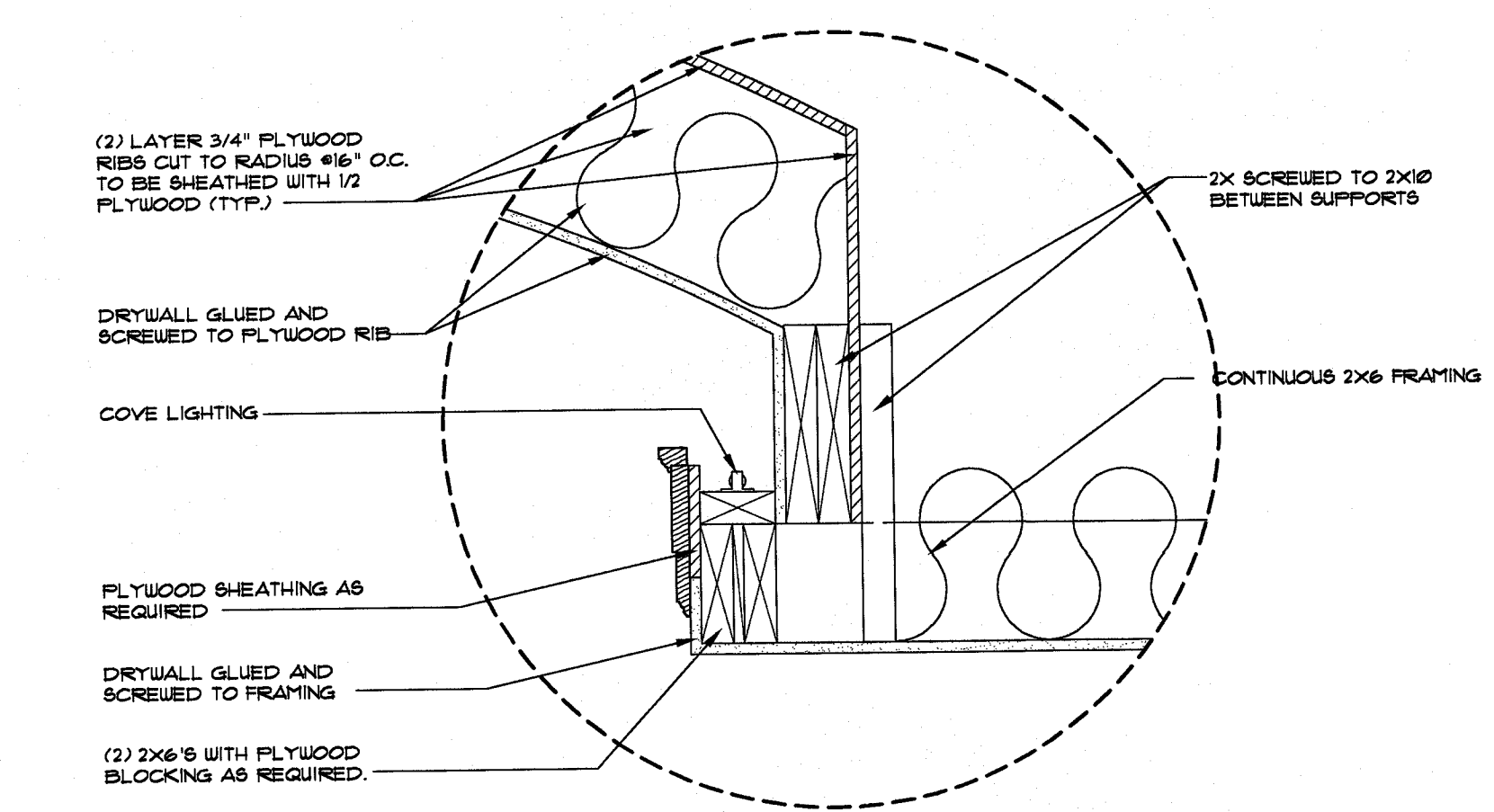
A SECTION
1/4" = 1'-0"
SEE OTHER SECTIONS FOR ADDITIONAL INFORMATION



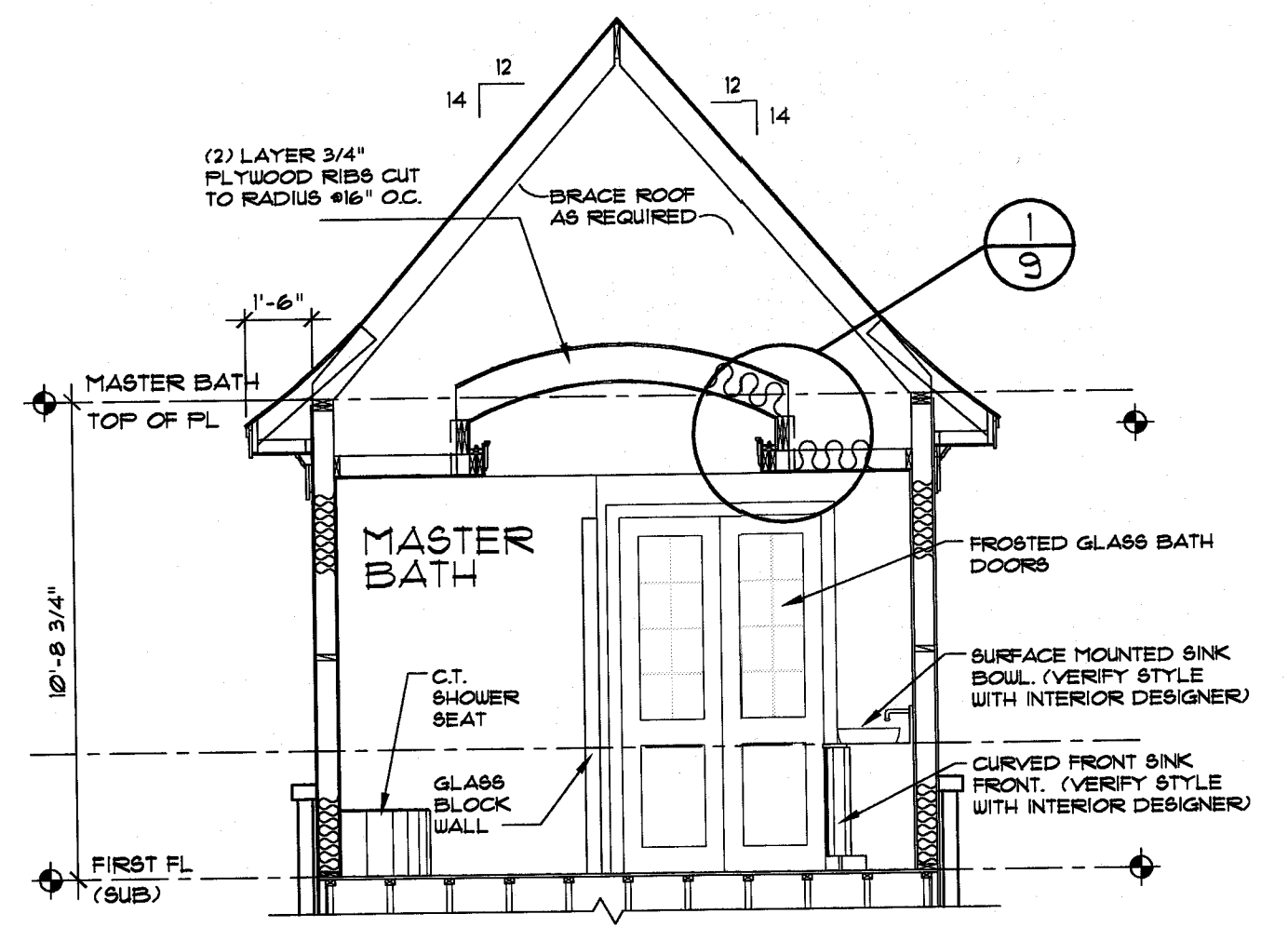
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SEE OTHER SECTIONS FOR ADDITIONAL INFORMATION



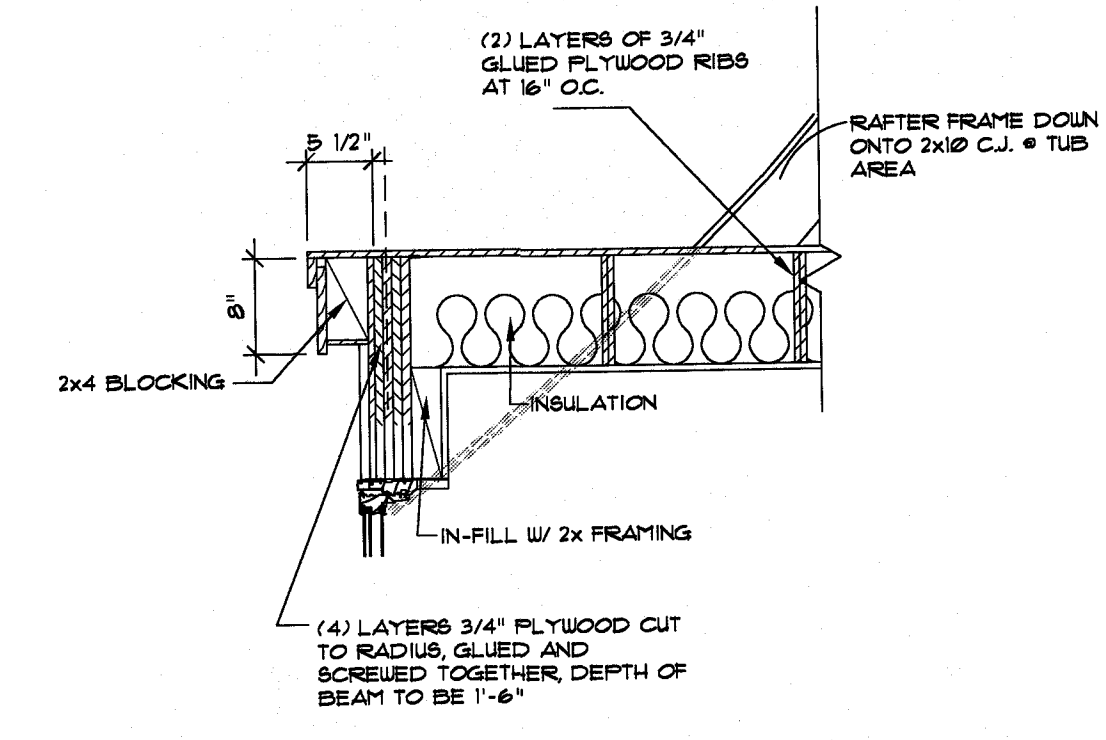
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SEE OTHER SECTIONS FOR ADDITIONAL INFORMATION



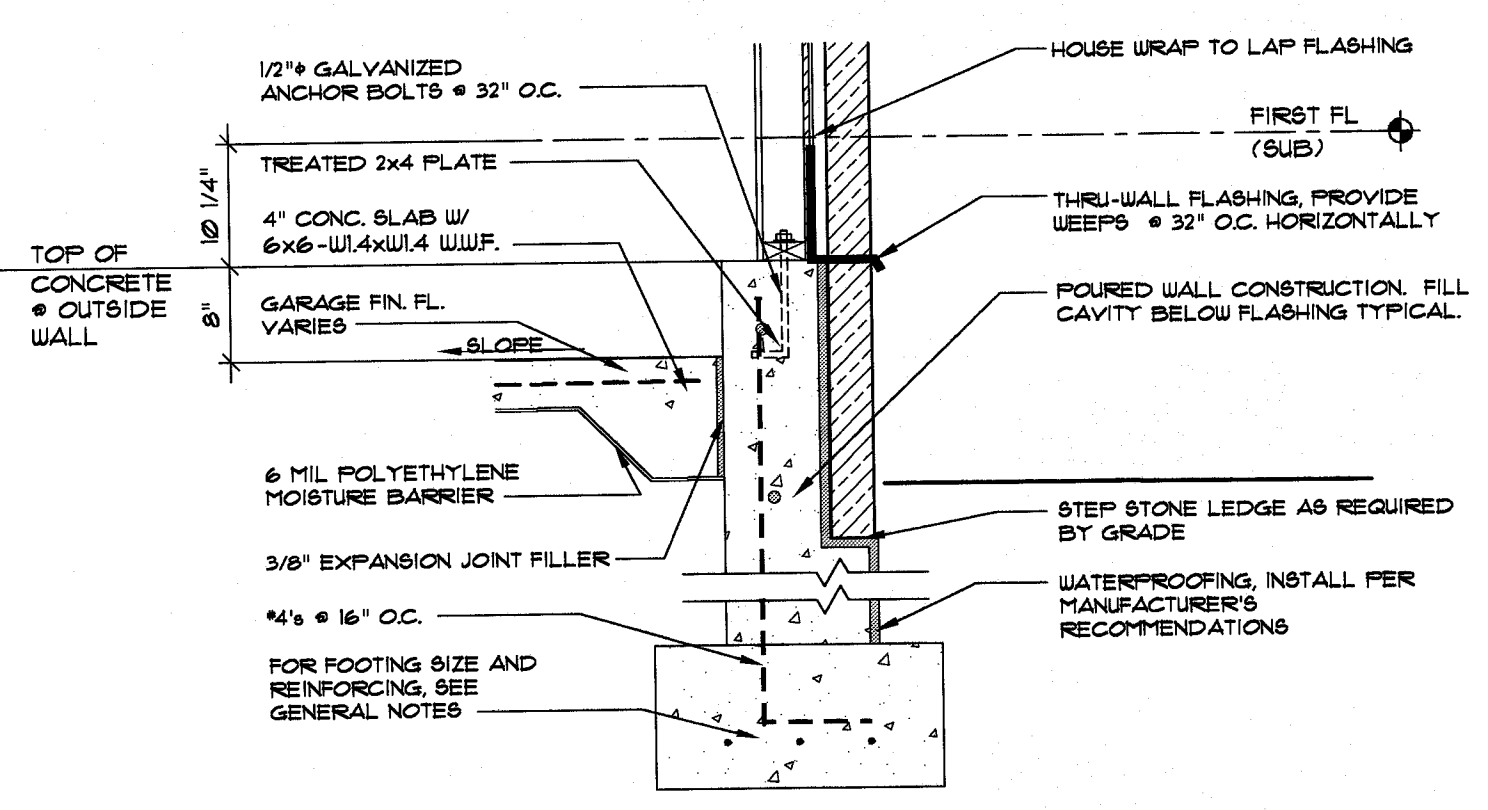
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SEE OTHER SECTIONS FOR ADDITIONAL INFORMATION



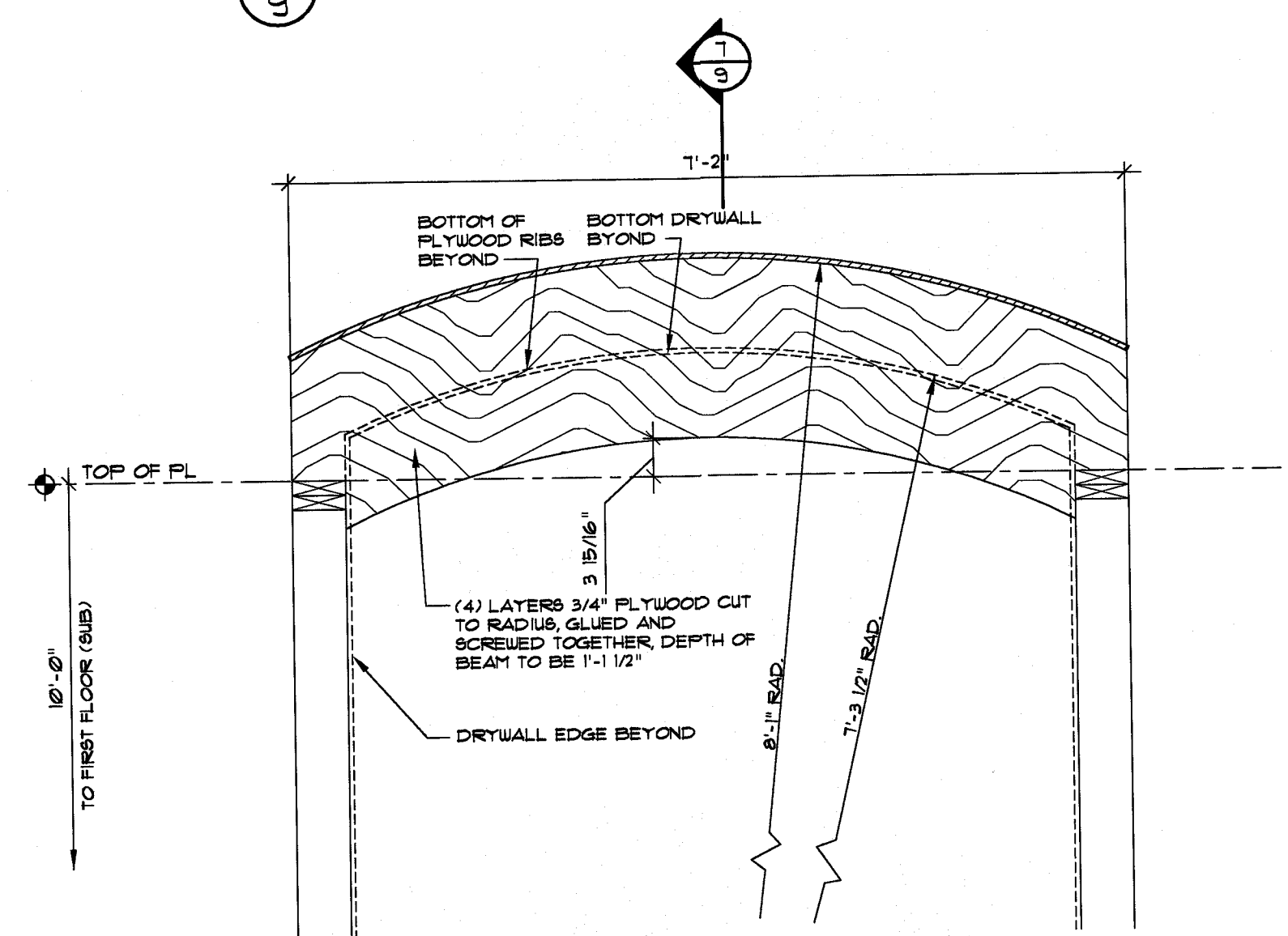
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SEE OTHER SECTIONS FOR ADDITIONAL INFORMATION



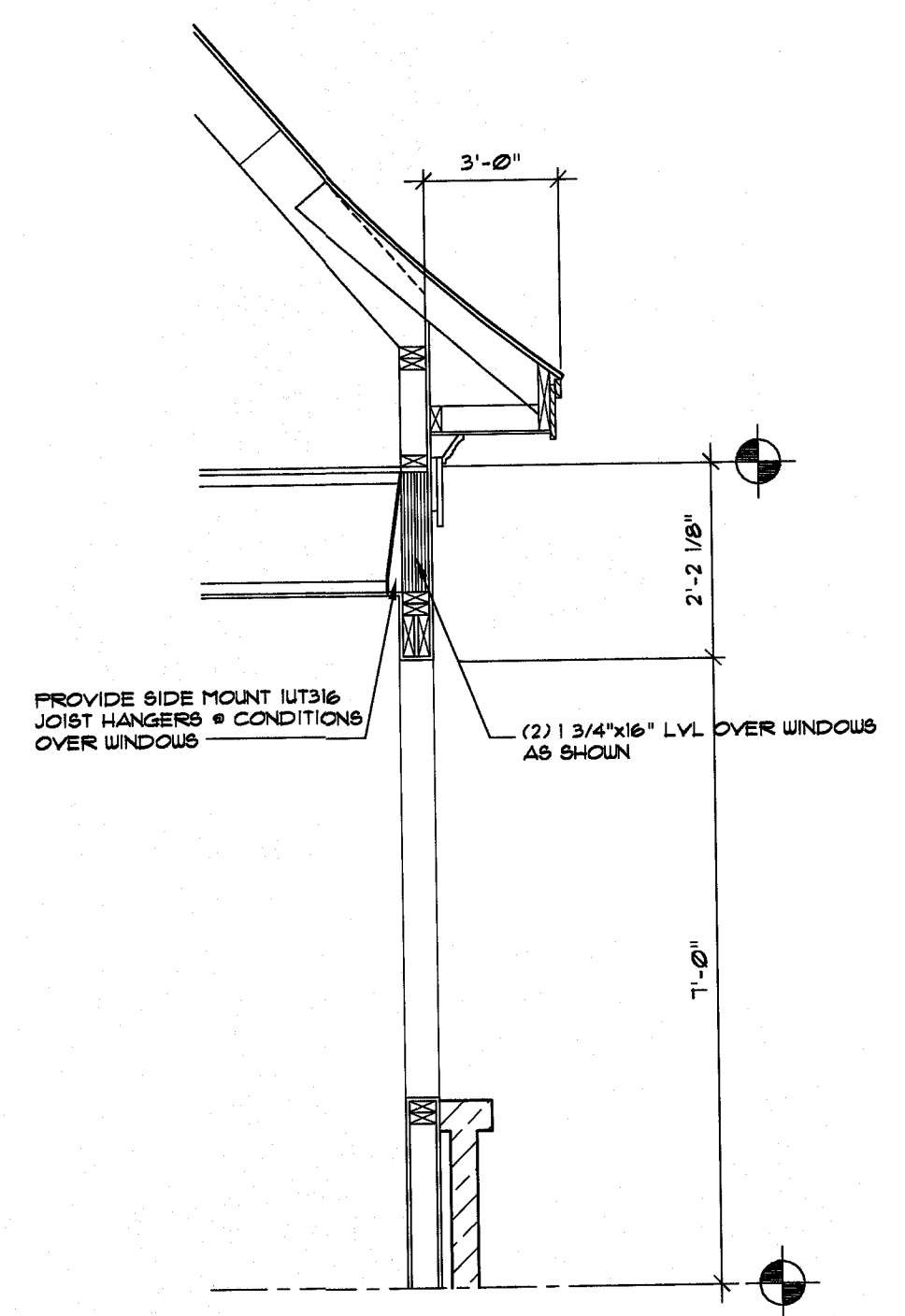
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3/4" = 1'-0"
SEE OTHER SECTIONS FOR ADDITIONAL INFORMATION



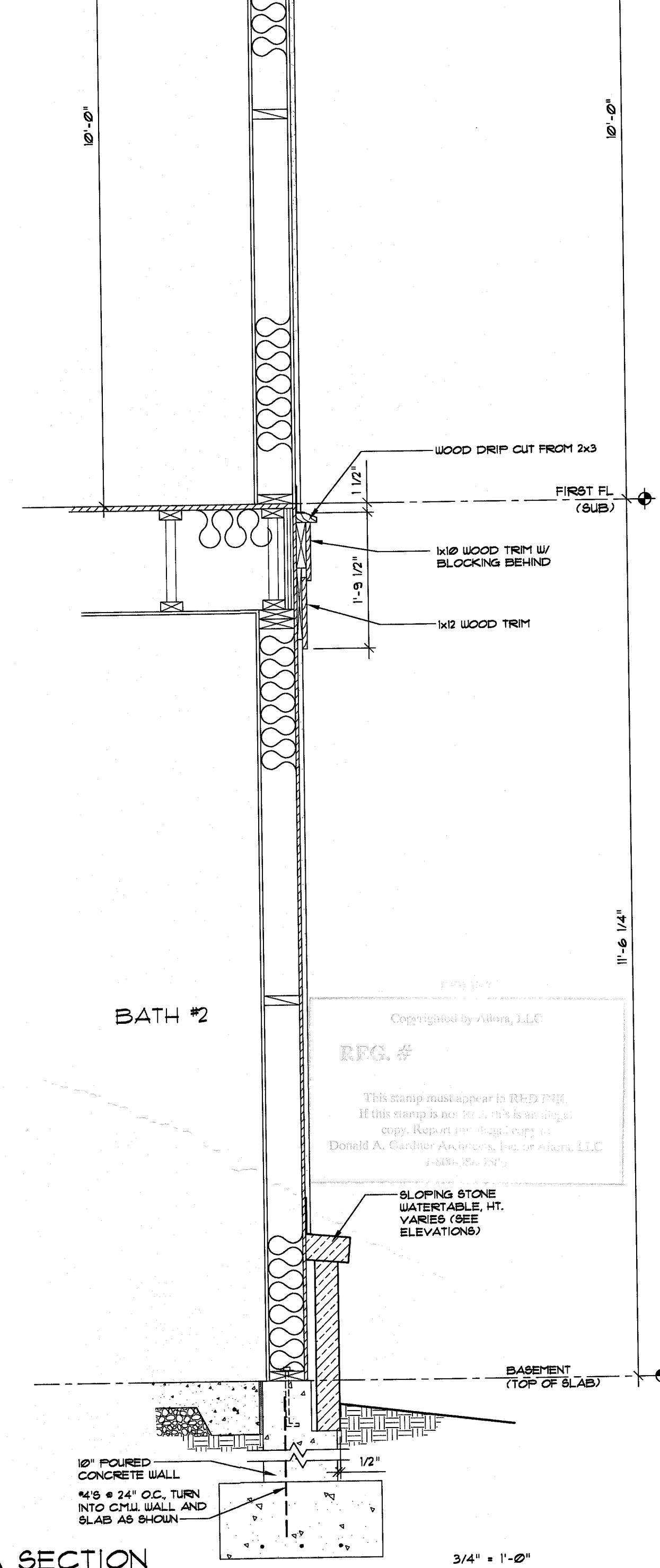
G SECTION
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SEE OTHER SECTIONS FOR ADDITIONAL INFORMATION



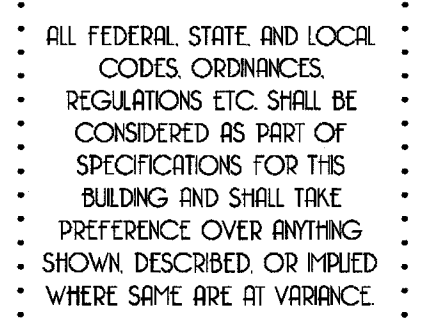
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SEE OTHER SECTIONS FOR ADDITIONAL INFORMATION



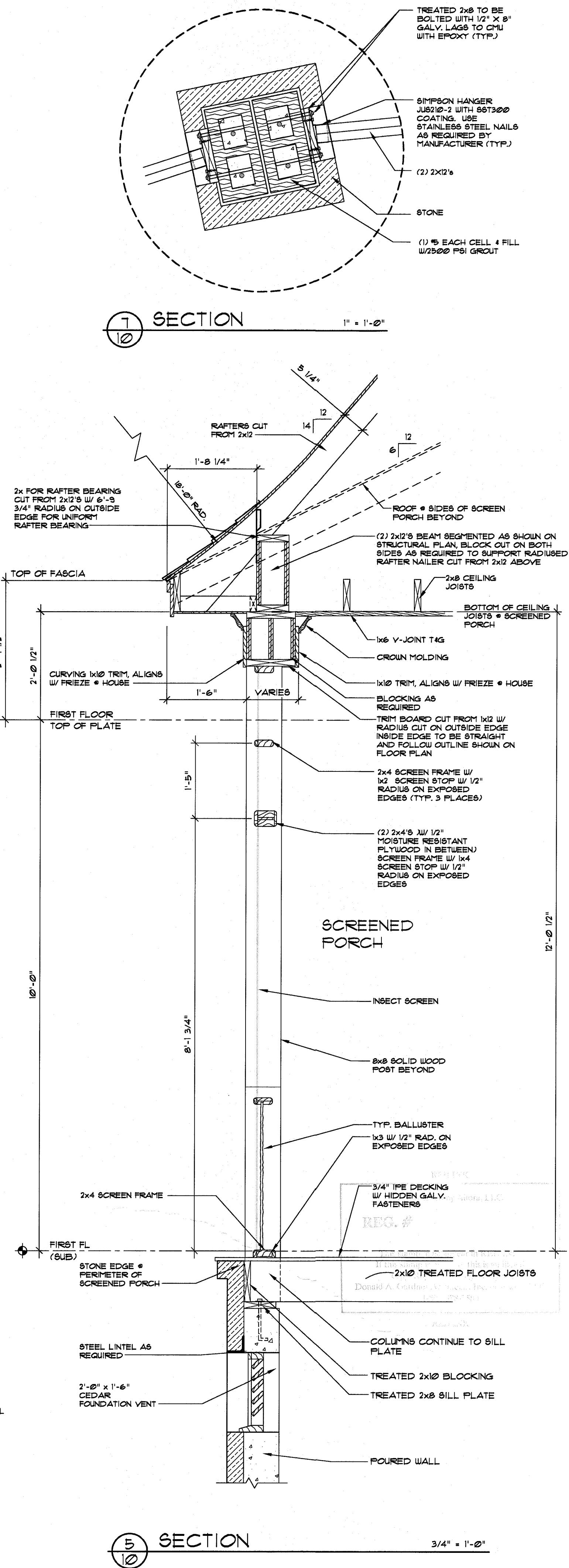
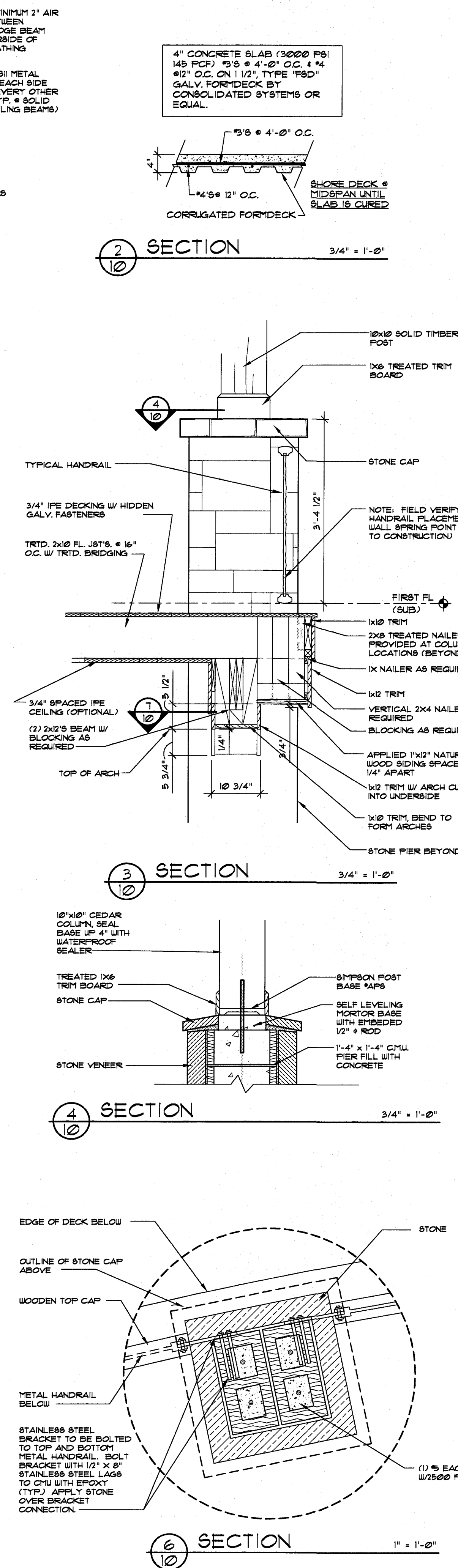
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1/2" = 1'-0"
SEE OTHER SECTIONS FOR ADDITIONAL INFORMATION

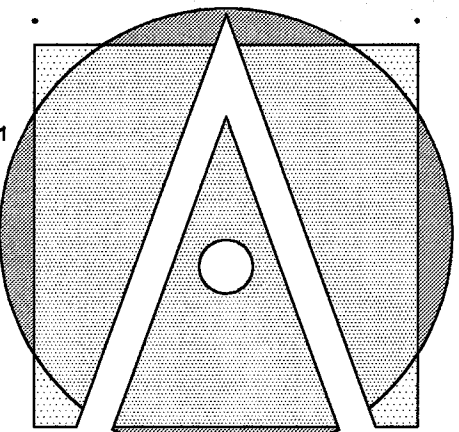


J SECTION
3/4" = 1'-0"
SEE OTHER SECTIONS FOR ADDITIONAL INFORMATION



PROJECT NO.
5019
SHEET OF
10 14
DRAWING DESCRIPTION
SECTIONS



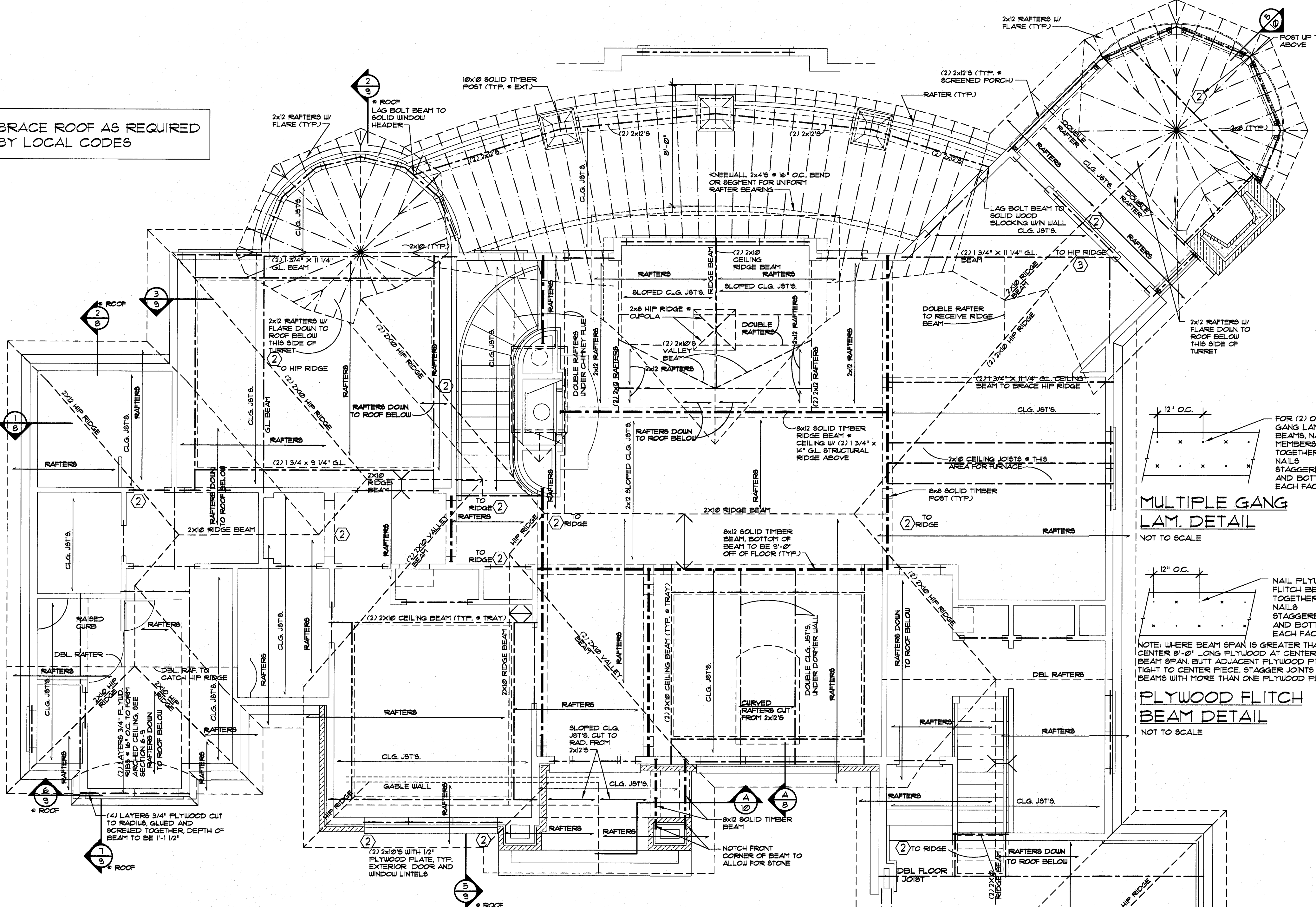
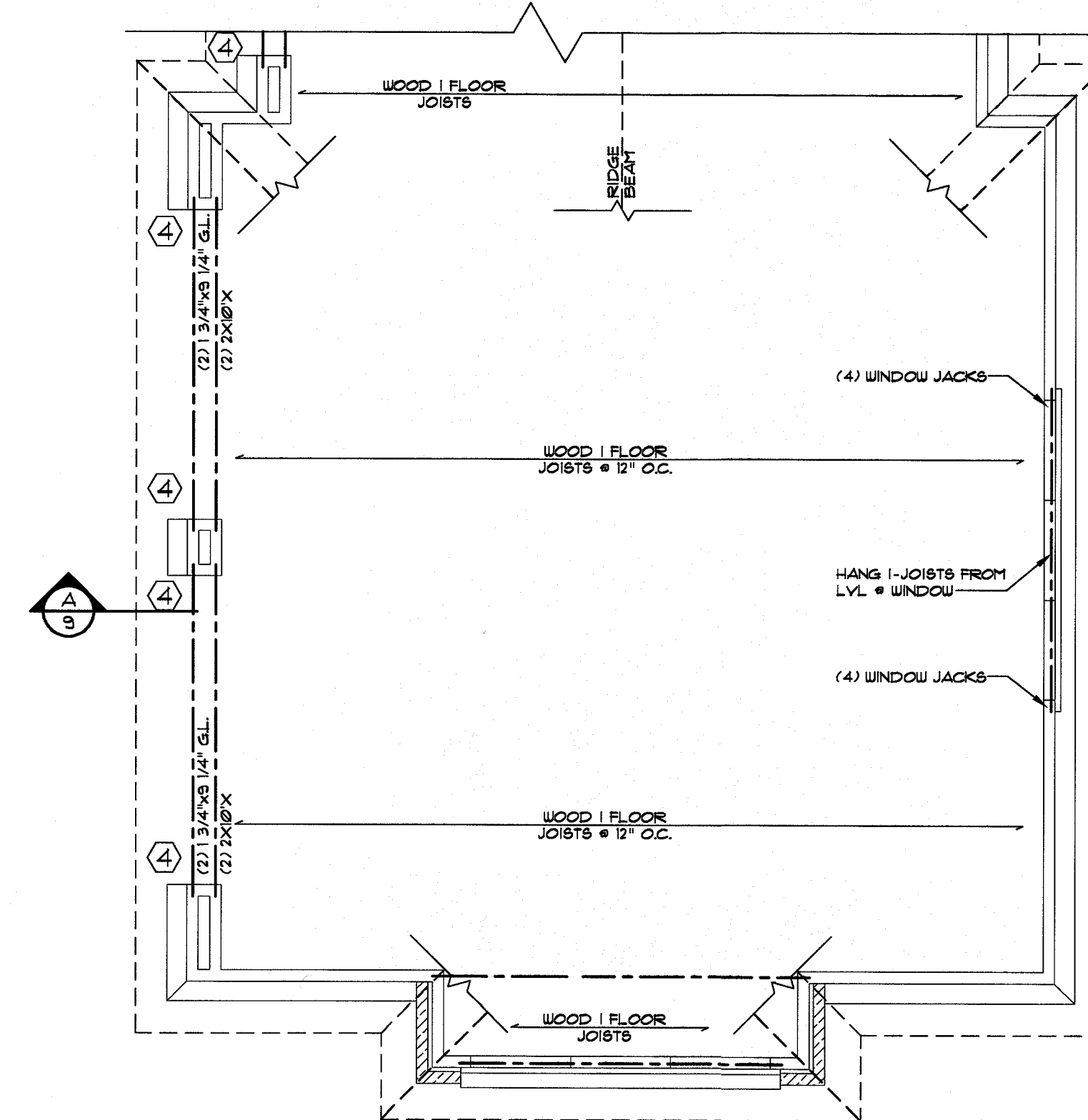
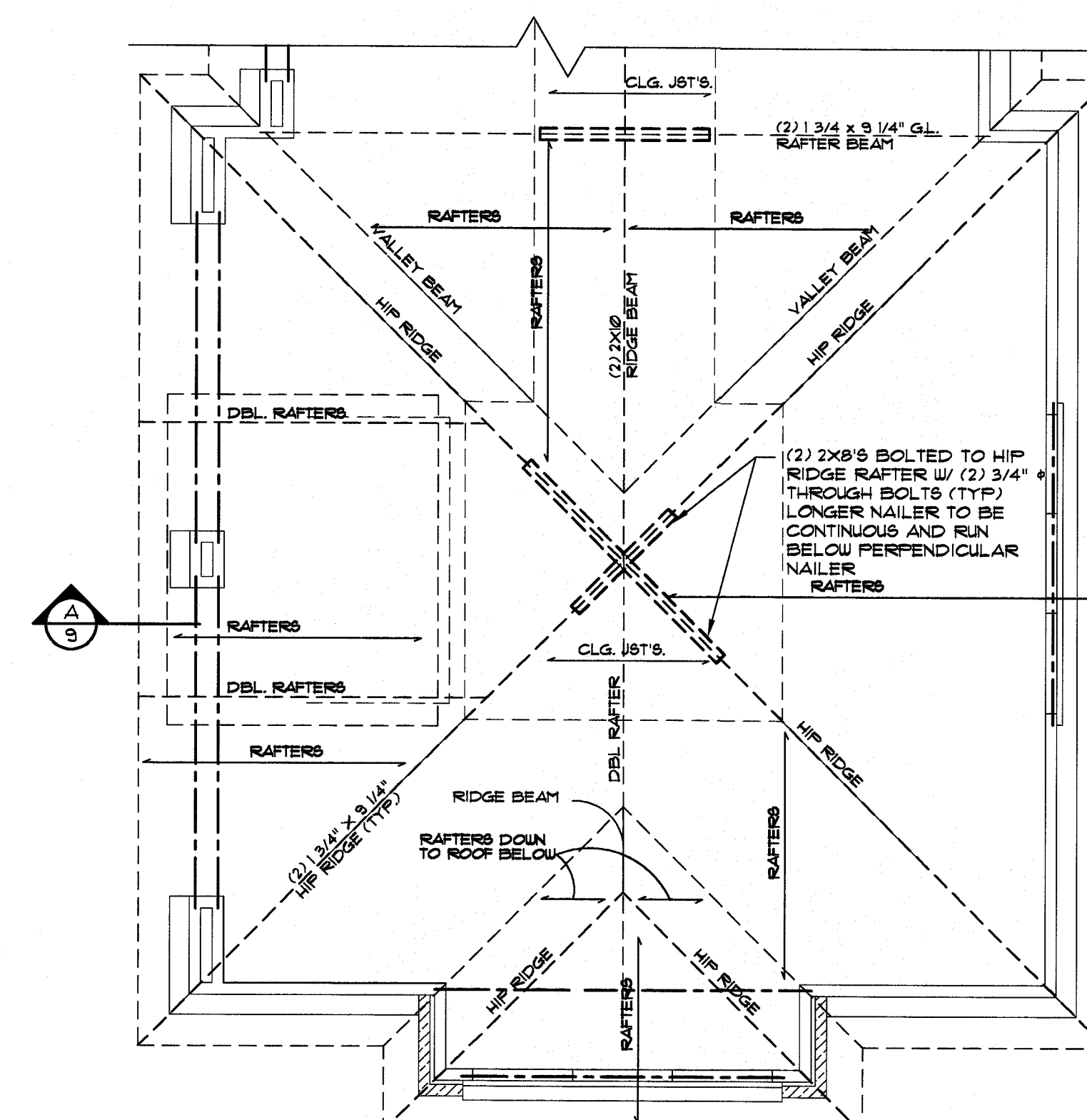


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BRACE ROOF AS REQUIRED BY LOCAL CODES



ROOF AND CEILING STRUCTURAL PLAN

NOTE: ICE AND WATER SHIELD BY W.R. GRACE TO BE USED IN AREAS SURROUNDING TURRETS.
NOTE: SEE ROOF PLAN AND ELEVATIONS AND SCAD ON 2x8 RAFTERS FLARES WHERE SHOWN. SEE SECTIONS FOR DETAILS.
NOTE: PROVIDE HEADERS AS REQUIRED OVER INT. TIMBER BEAMS, SO THAT SOLID TIMBER BEAMS ARE NOT STRUCTURAL (TYP.)

DESIGN CRITERIA

(NOTE: ACTUAL DESIGN CRITERIA IN YOUR AREA MAY VARY. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO VERIFY THESE.)

- FRAMING DESIGN BASED ON THE FOLLOWING LOADING CONDITIONS:
 - ROOF DEAD LOAD - 20 P.S.F.
 - FLOOR DEAD LOAD - 15 P.S.F.
 - ROOF LIVE LOAD - 20 P.S.F.
 - FLOOR LIVE LOAD - 40 P.S.F.
 - MAXIMUM WIND SPEED - 90 M.P.H.
- VERIFY SEISMIC REQUIREMENTS FOR YOUR AREA.
- SOIL DESIGN BEARING PRESSURE IS ASSUMED 2000 P.S.F. LOCAL SOIL CONDITIONS AND/OR LOCAL PRACTICE MAY NECESSITATE A MORE STRINGENT FOOTING AND FOUNDATION WALL DESIGN. CONSULT WITH LOCAL CONTRACTOR OR BUILDING INSPECTOR.
- INSULATION:
 - CEILING - R-38
 - WALL - R-19
 - FLOOR - R-19
- GL. MATERIAL SPECS:
 - LAMINATED VENEER LUMBER GANG LAM LVL, SHALL BE BY LOUISIANA-PACIFIC OF WILMINGTON, NC (800-999-9109) OR APPROVED EQUAL SUPPLIER. PROPERTIES SHALL MEET OR EXCEED:
 - F_b = 2350 P.S.I.
 - F_v = 230 P.S.I.
 - E = 2,900,000 P.S.I.
 - GANG LAM "S" LVL'S ARE INDICATED.
 - GANG LAM "U" LVL'S CAN BE USED BUT VARY FROM SIZES INDICATED

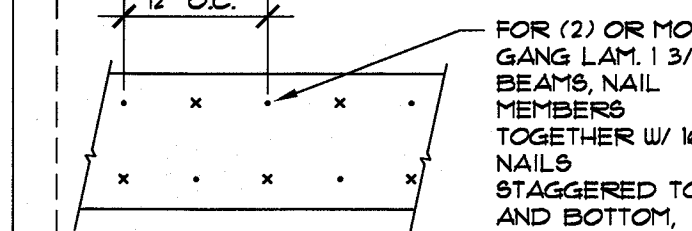
STRUCTURAL LEGEND

- | | |
|------------|---|
| RAFTERS | RAFTERS, 2x8'S @ 16" O.C. UNLESS NOTED OTHERWISE |
| CLG. JST'S | CEILING JOISTS, 2x8'S @ 16" O.C. UNLESS NOTED OTHERWISE |
| --- | PHANTOM LINE INDICATES STEEL BEAM |
| | THIS SYMBOL INDICATES LOAD BEARING INTERIOR WALLS. ALL EXTERIOR WALLS ARE LOAD BEARING |
| --- | DASH LINE INDICATES ROOF FRAMING |
| --- | CENTER LINE INDICATES (2) 2x10'S BEAM BELOW ROOF UNLESS NOTED OTHERWISE |
| --- | THICKENED CENTER LINE INDICATES SOLID TIMBER BEAM |
| --- | DASH-DOT LINE INDICATES RAFTERS, (2x12 RAFTERS @ (2) TURRETS) ARRANGED TO FORM SEGMENTED ROOF |

- | | |
|-------------------|--|
| WOOD FLOOR JOISTS | 16" WOOD 1-JOISTS @ 16" O.C. UNLESS NOTED OTHERWISE |
| FLOOR TRUSSES | FLOOR TRUSSES, 16" OPEN WEB TRUSSES @ 16" O.C. WITH BRIDGING UNLESS NOTED OTHERWISE |
| (3) | DOUBLE RAFTER AS SPECIFIED |
| ---> | INDICATES THE NUMBER OF STUDS UNDER BEAM ABOVE. NOTE: IF NUMBER OF STUDS AT BEAM ENDS ARE NOT INDICATED, USE (2) STUDS |
| ---> | BRACE ROOF TO WALL OR BEAM BELOW WITH 2x4'S @ 32" O.C. |

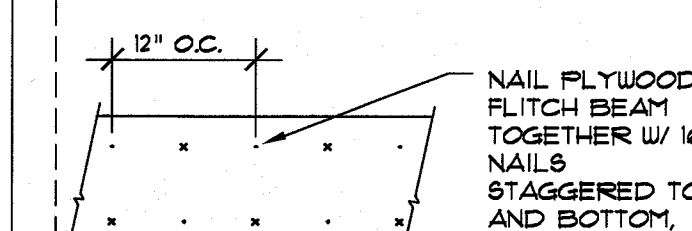
STRUCTURAL NOTES

- ROOF FRAMING DESIGN IS CONVENTIONAL (STICK) FRAMING. FOR CONVERSION TO PRE-ENGINEERED TRUSS FRAMING, CONSULT A LOCAL TRUSS MANUFACTURER.
- PROVIDE 2x6 COLLAR TIES @ 32" O.C. IN TOP THIRD OF LOCAL BUILDING CODE.
- UNLESS NOTED OTHERWISE, ALL INTERIOR DOOR AND WALL OPENINGS IN LOAD BEARING WALLS SHALL HAVE (2) 2x10'S LINTEL WITH (2) STUDS AT EACH LINTEL END (TYPICAL).
- UNLESS NOTED OTHERWISE, ALL EXTERIOR DOOR AND WALL OPENINGS SHALL HAVE (2) 2x10'S HEADER USE (2) STUDS AT LINTEL ENDS UNLESS OTHERWISE NOTED. PROVIDE STEEL LINTEL ANGLES WITH 4" MIN. BEARING WHERE REQUIRED OVER EXTERIOR MASONRY WALL OPENINGS.
- AT ALL BUILDING CORNERS USE NOMINAL 1/2" STRUCTURAL GRADE 2 PLYWOOD OR NOMINAL 1/2" OSB (ORIENTED STRAND BOARD) MIN. 4'-0" WIDTH. USE 8d NAILS @ 4" O.C. FOR EDGE NAILING AND 12" O.C. FOR ALL INTERMEDIATE NAILING.
- CONNECTORS INDICATED ARE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INC. SAN LEANDRO, CALIFORNIA 94577 (800-999-5099)



MULTIPLE GANG LAM. DETAIL

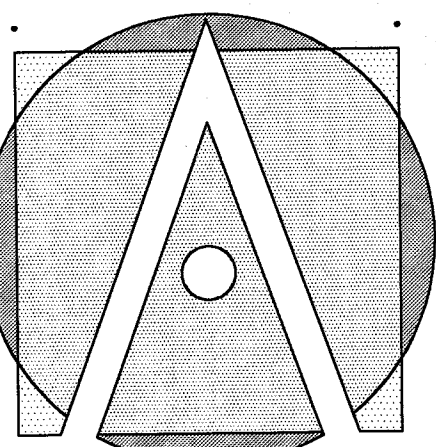
NOT TO SCALE



PLYWOOD FLITCH BEAM DETAIL

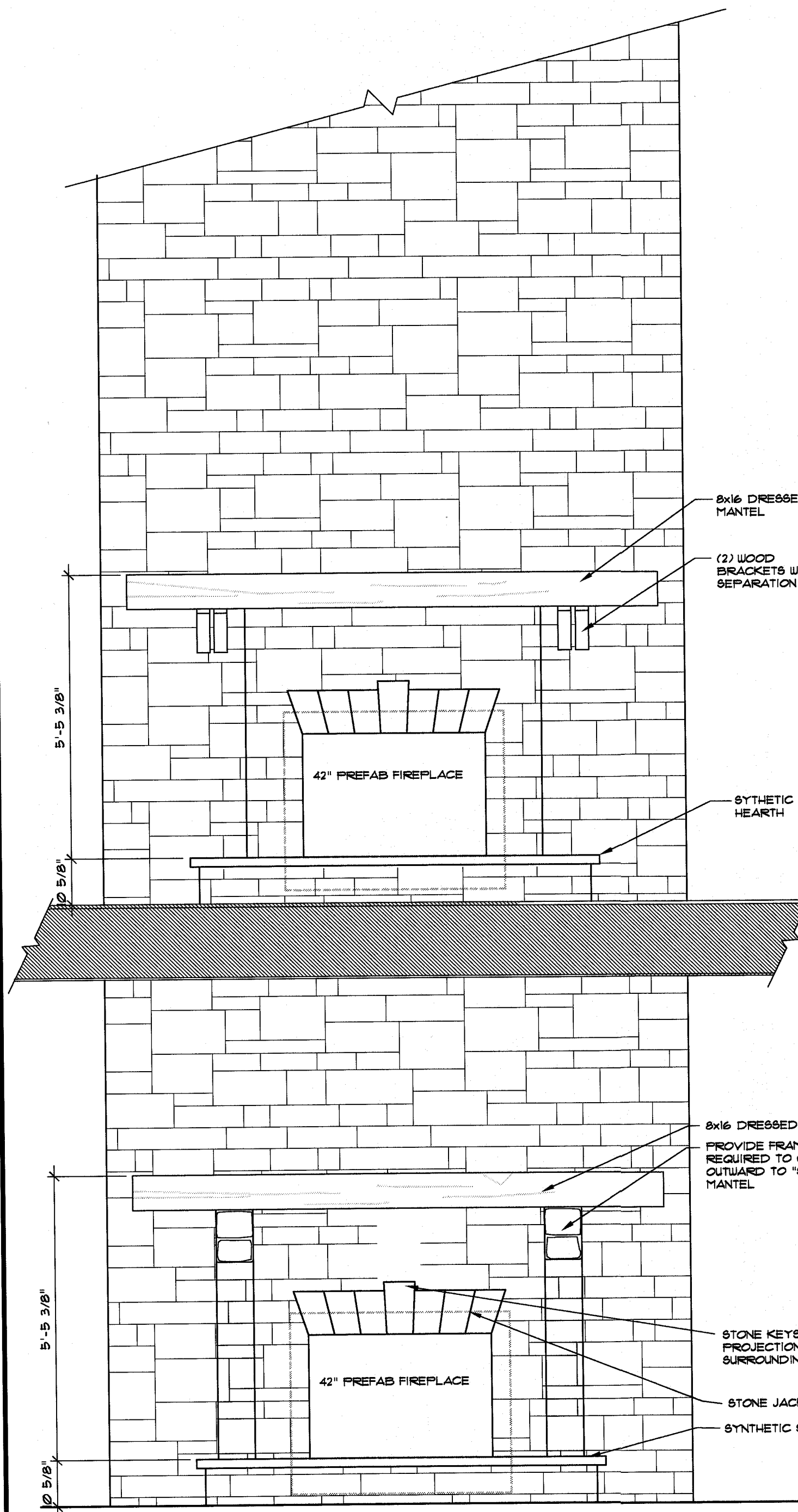
NOT TO SCALE

NOTE: WHERE BEAM SPAN IS GREATER THAN 8'-0", CENTER 8'-0" LONG PLYWOOD AT CENTER OF BEAM SPAN, BUT ADJACENT PLYWOOD PIECES TIGHT TO CENTER PIECE. STAGGER JOINTS AT BEAMS WITH MORE THAN ONE PLYWOOD PLATE.

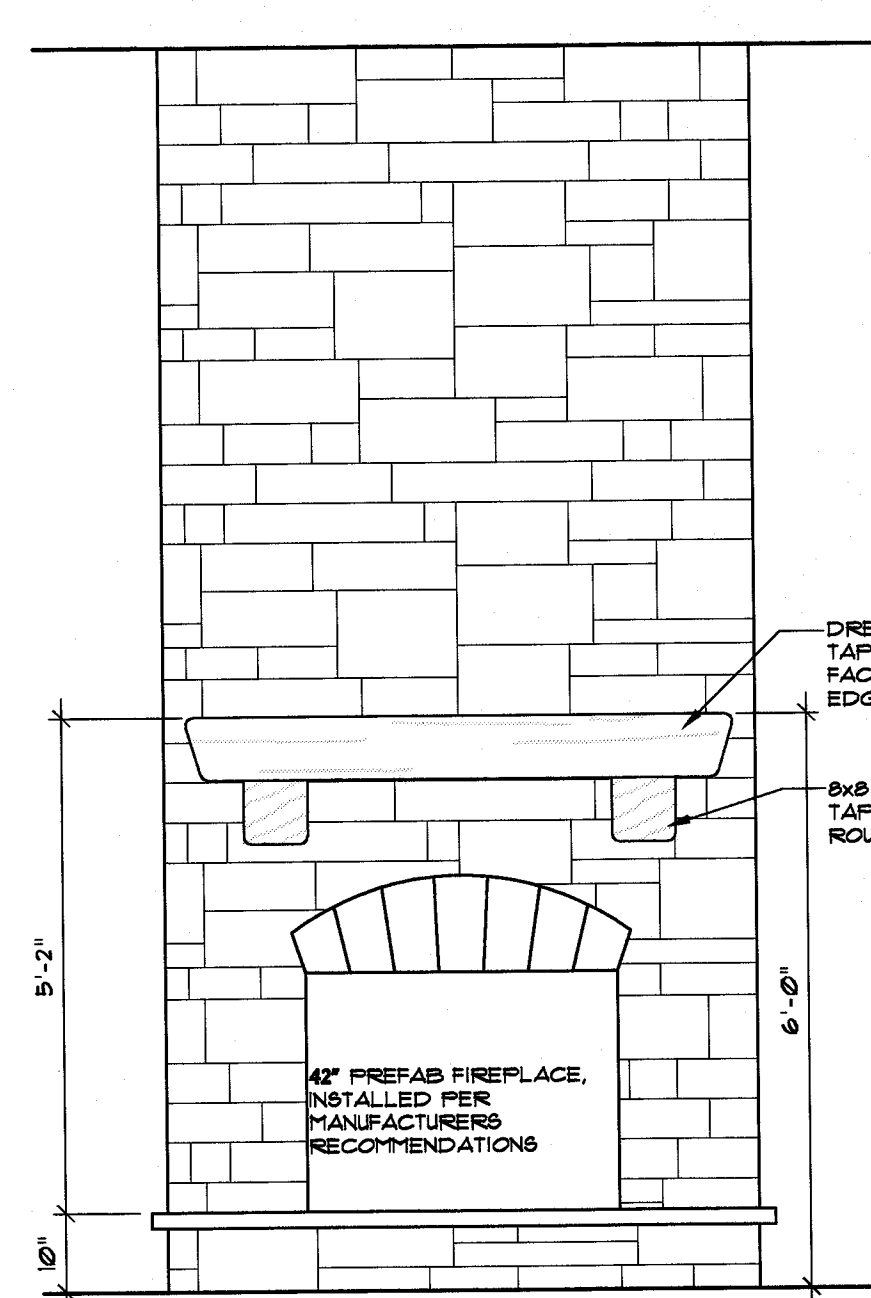


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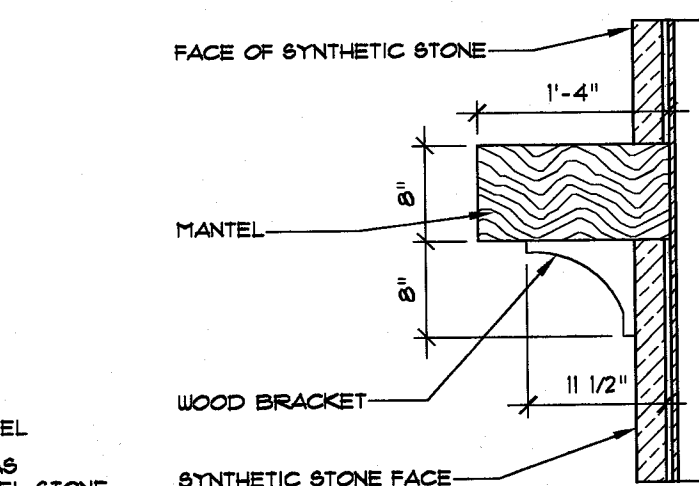
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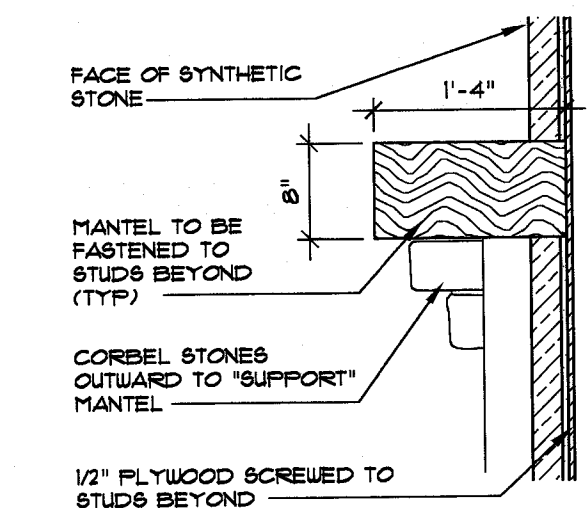
A GREAT RM./ REC. RM. 1/2" = 1'-0"



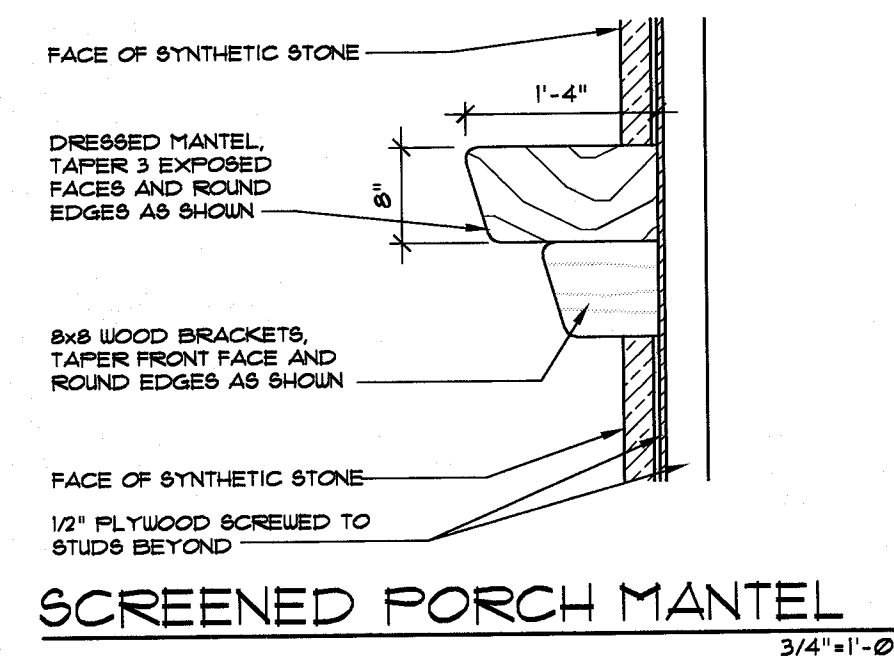
C SCREENED PORCH 1/2" = 1'-0"



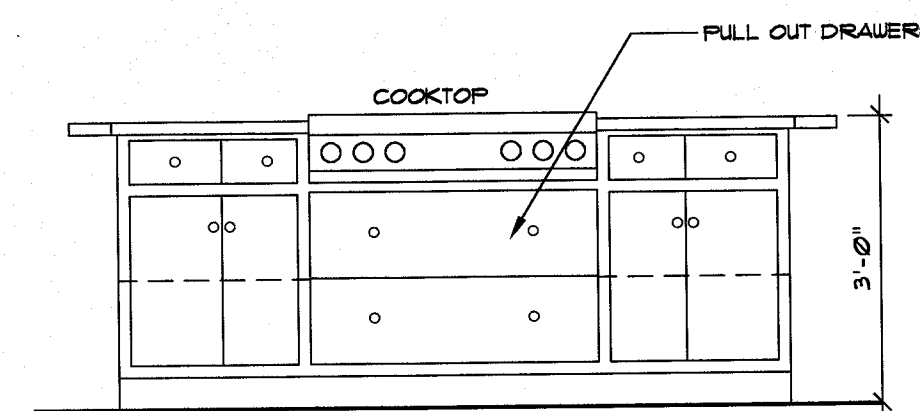
GREAT RM. MANTEL 3/4" = 1'-0"



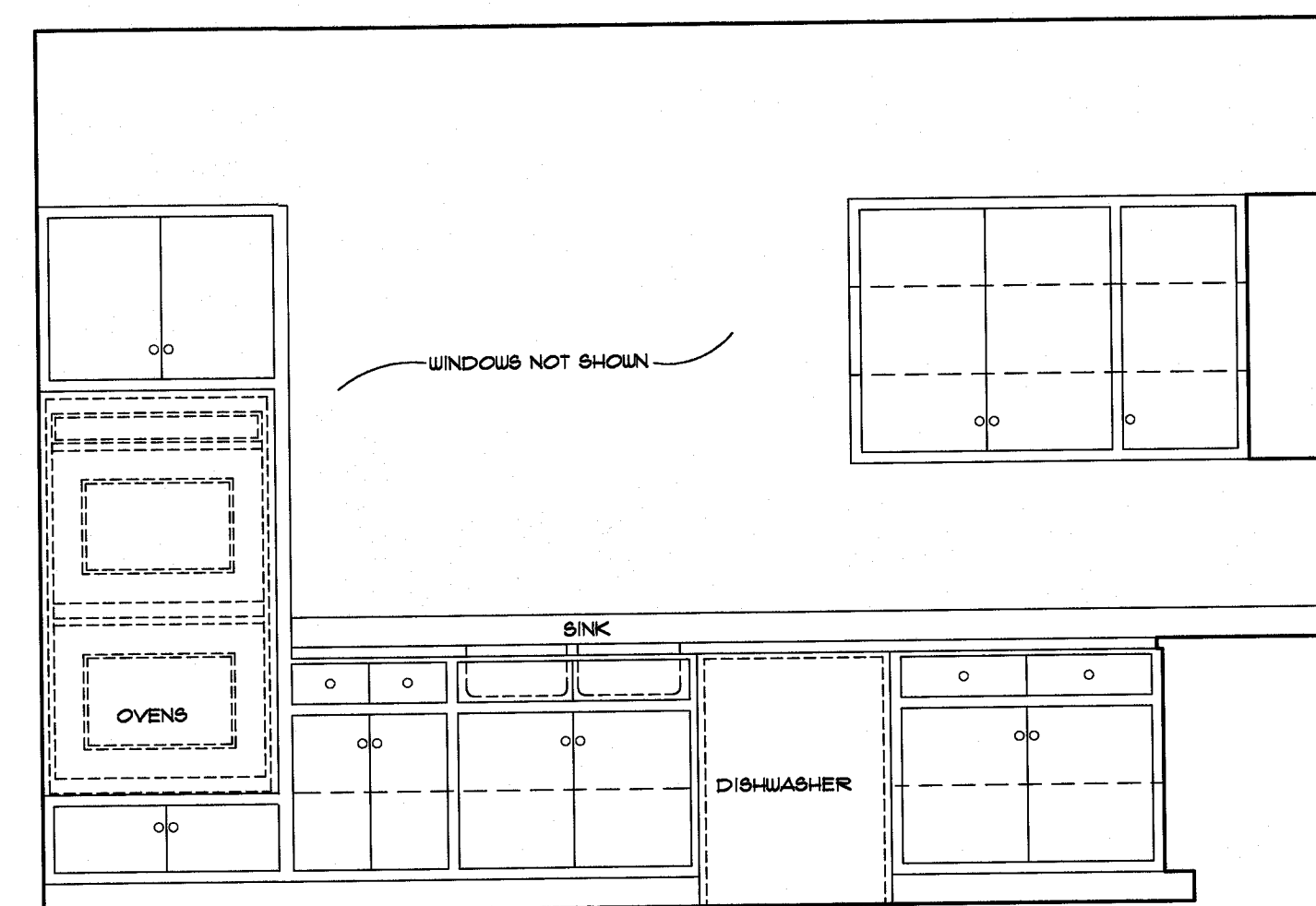
REC. RM. MANTEL 3/4" = 1'-0"



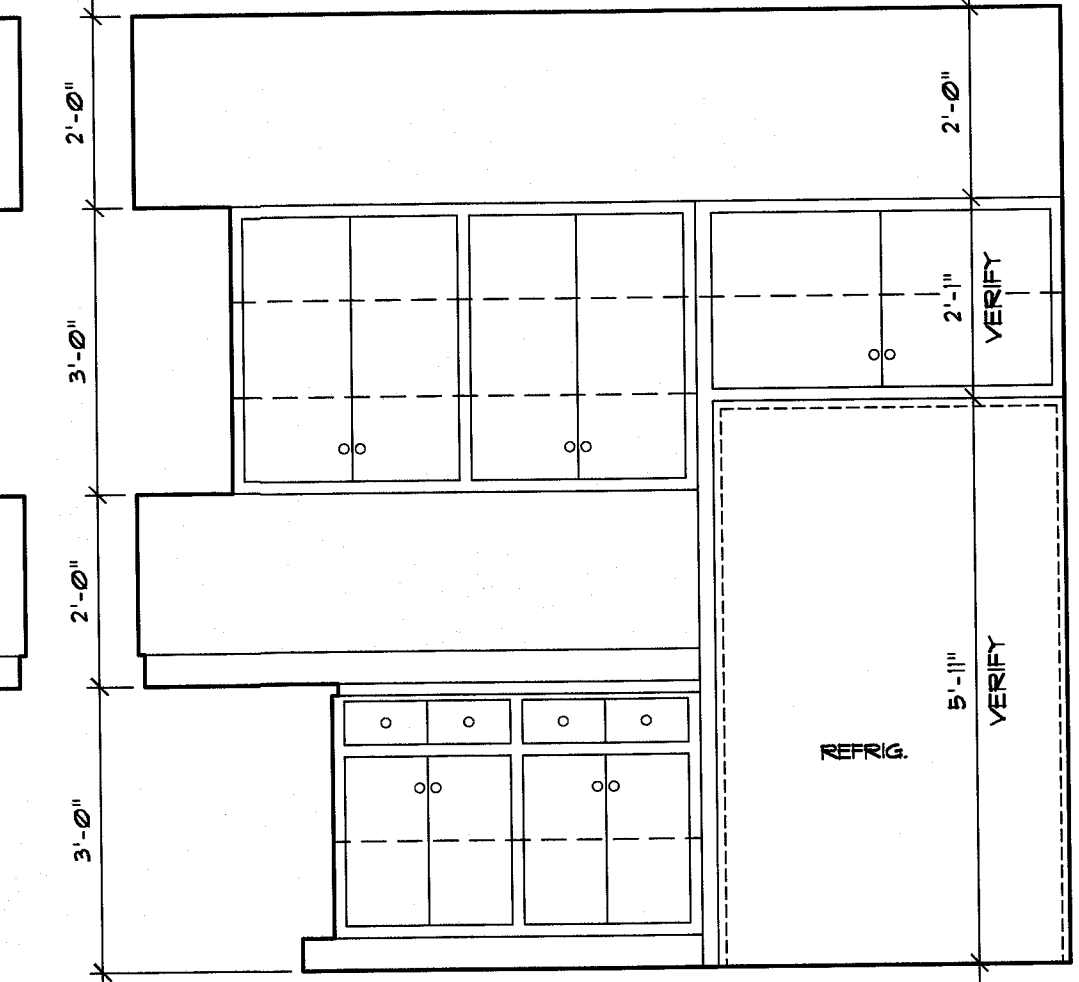
SCREENED PORCH MANTEL 3/4" = 1'-0"



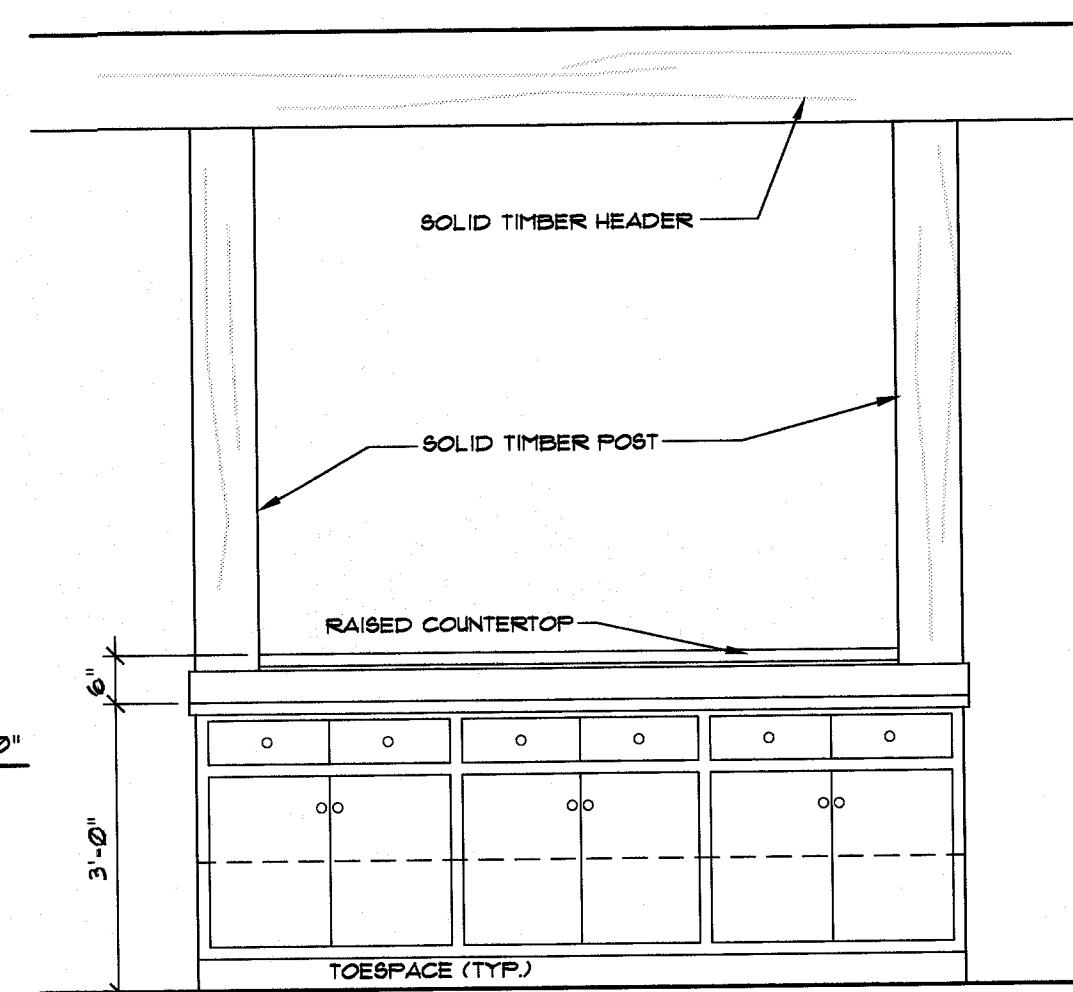
D KITCHEN 1/2" = 1'-0"



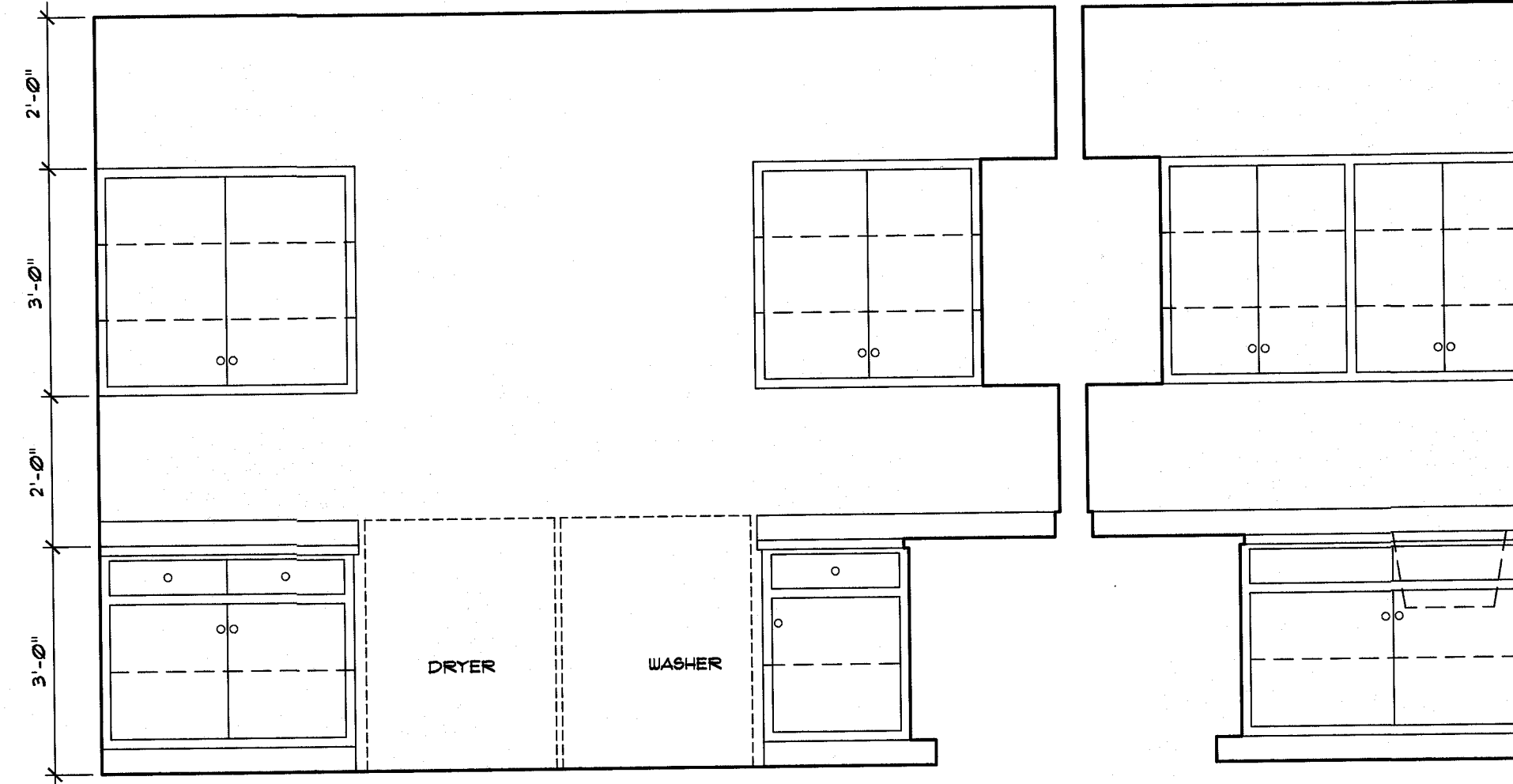
E KITCHEN 1/2" = 1'-0"



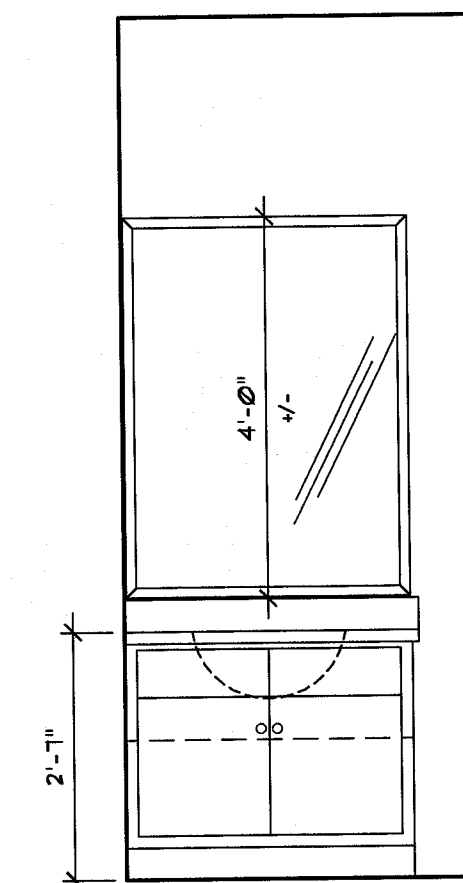
F KITCHEN 1/2" = 1'-0"



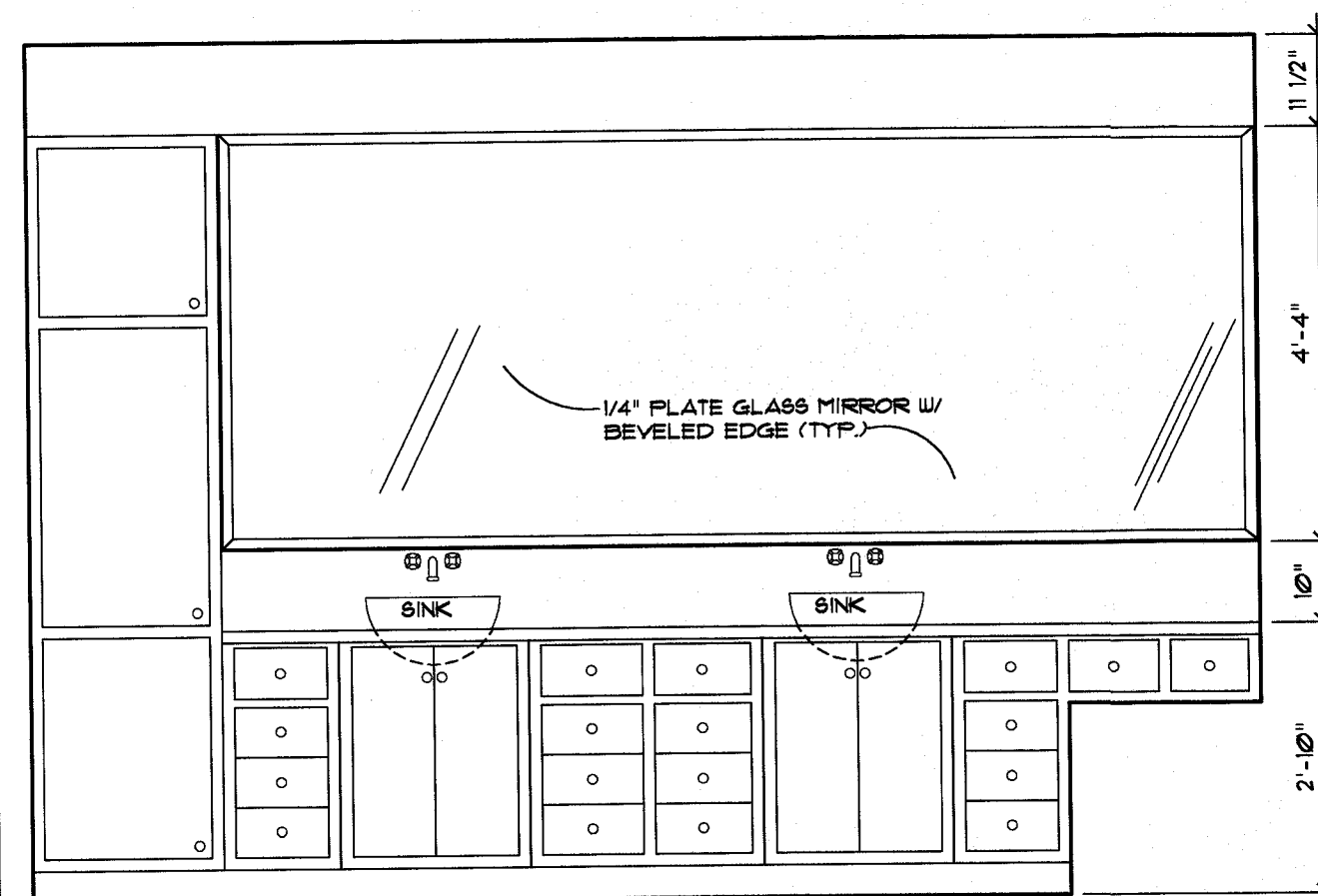
G KITCHEN 1/2" = 1'-0"



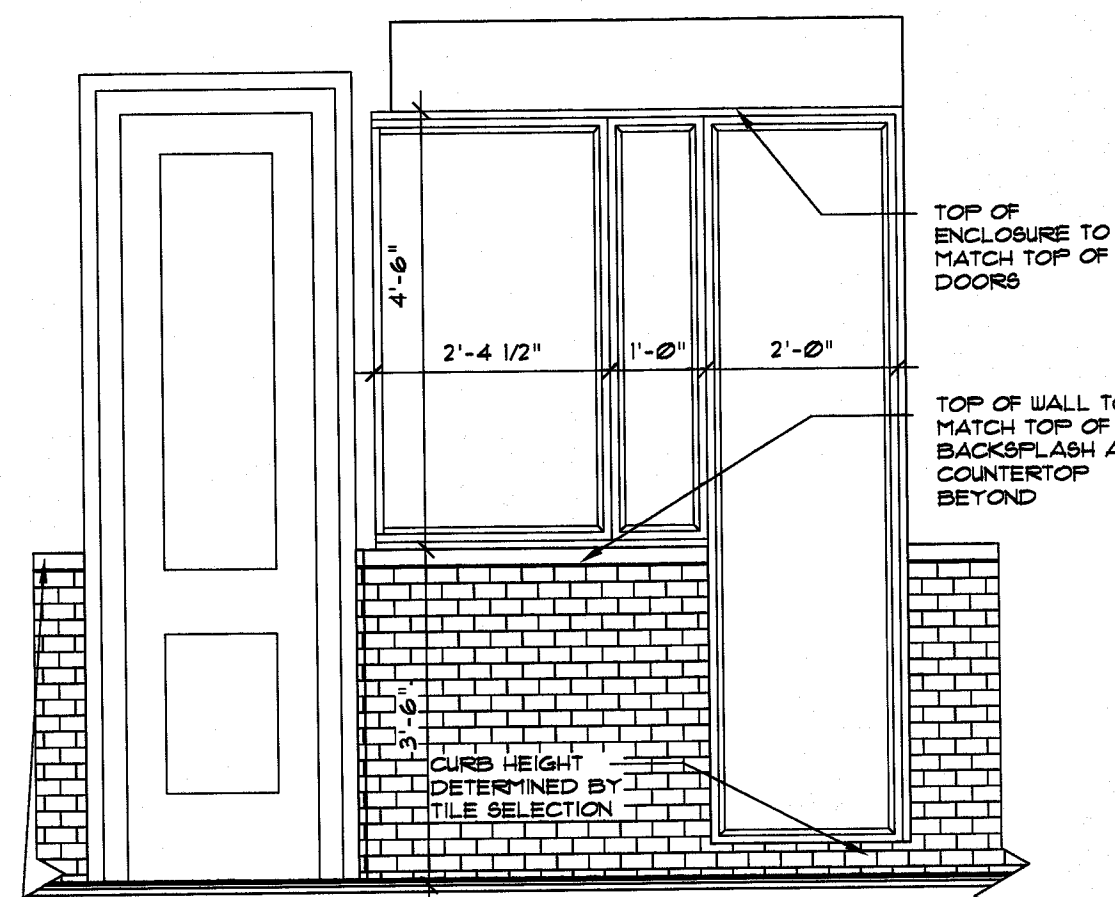
H UTILITY 1/2" = 1'-0"



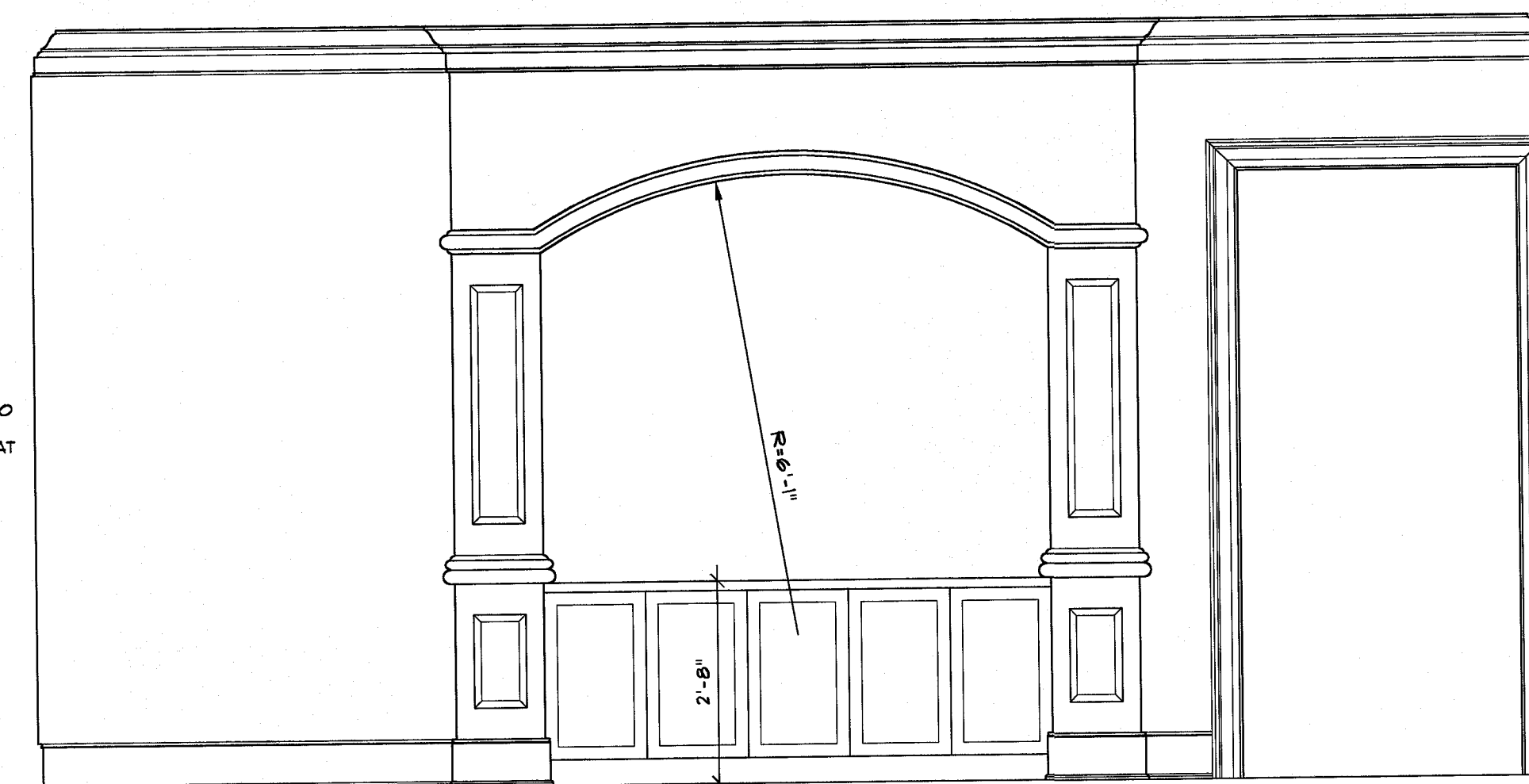
K BATH #2 1/2" = 1'-0"



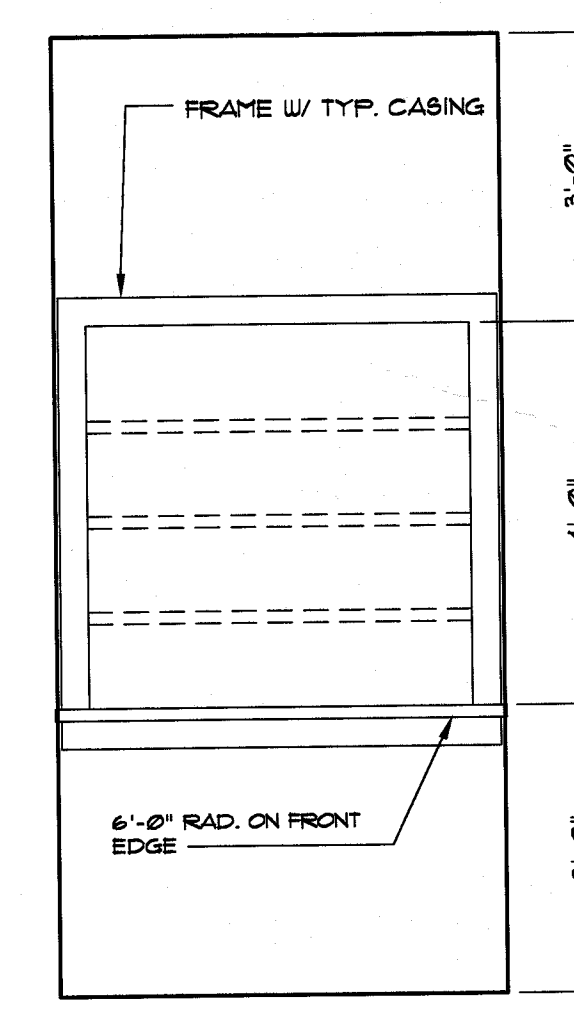
L MASTER BATH 1/2" = 1'-0"



M MASTER BATH 1/2" = 1'-0"



N REC ROOM 1/2" = 1'-0"



P NICHE 1/2" = 1'-0"

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CABINET NOTES

- CABINETS TO BE SHOP BUILT IN SIZES SHOWN.
- DRAWERS AND ROLL OUT SHELVES TO BE MOUNTED ON FULL EXT. GLIDES.
- DOORS TO HAVE CONCEALED EUROPEAN STYLE HINGES, 110° OPENING.
- GLIDES AND HINGES TO BE BY JULIUS BLUM OR EQUAL.
- FIELD VERIFY ALL DIMENSIONS AND APPLIANCE, T.V. ETC., SIZES BEFORE BUILDING CABINETS.
- OWNER TO SELECT FINISH COLORS. SUBMIT SAMPLE FOR APPROVAL.
- SEE ELEVATIONS FOR DIM. DEPTHS, ETC.
- ADJUSTABLE SHELVES TO BE ON METAL PINS.
- SHELVES IN BASE CABINETS TO BE 1/2" DEPTH OF BASE CABINETS.
- VERIFY DOOR STYLE W/ OWNER.

KITCHEN, GREAT RM., REC RM.,

- FINISH: 1 COAT STAIN, 2 COATS POLYURETHANE.
- ALL KITCHEN BASE CABINETS 2'-0" DEEP, WALL CABINETS 1'-1" DEEP.

LAUNDRY ROOM

- FINISH: 1 COAT OIL BASED PRIMER (TINT TO FINISH COLOR)
- 2 COATS OIL BASED ENAMEL.
- BASE CABINETS TO BE 2'-0" DEEP, WALL CABINETS TO BE 1'-1" DEEP.

BATHROOMS

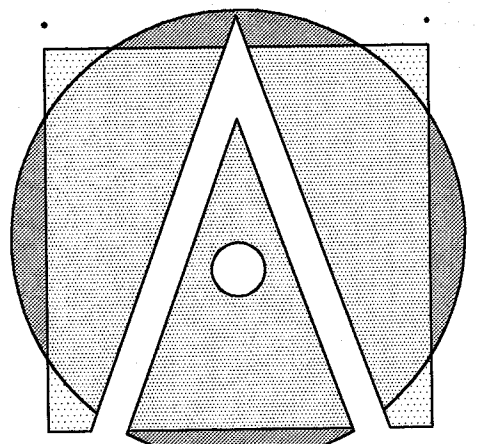
- FINISH: 1 COAT OIL BASED PRIMER (TINT TO FINISH COLOR)
- 2 COATS OIL BASED ENAMEL.
- ALL BATH VANITIES TO BE 1'-9" DEEP.
- VANITIES TO HAVE 1/4" MIRROR W/ ALUM. J. STRIP • TOP AND SIDES, CMIT • BOTTOM, VERIFY W/ OWNER • EACH BATH
- NOTE: FIELD VERIFY DIM. OF ALL APPLIANCES AND FINISHED OPENINGS PRIOR TO BUILDING CAB.
- VERIFY WOOD TYPE AND FINISH W/ OWNER

PROJECT NO.

5019

SHEET OF
12 14

DRAWING DESCRIPTION
INTERIOR
ELEVATIONS



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PROJECT NO.
5019
SHEET OF
13 14
DRAWING DESCRIPTION
MAIN LEVEL
ELECTRICAL PLAN

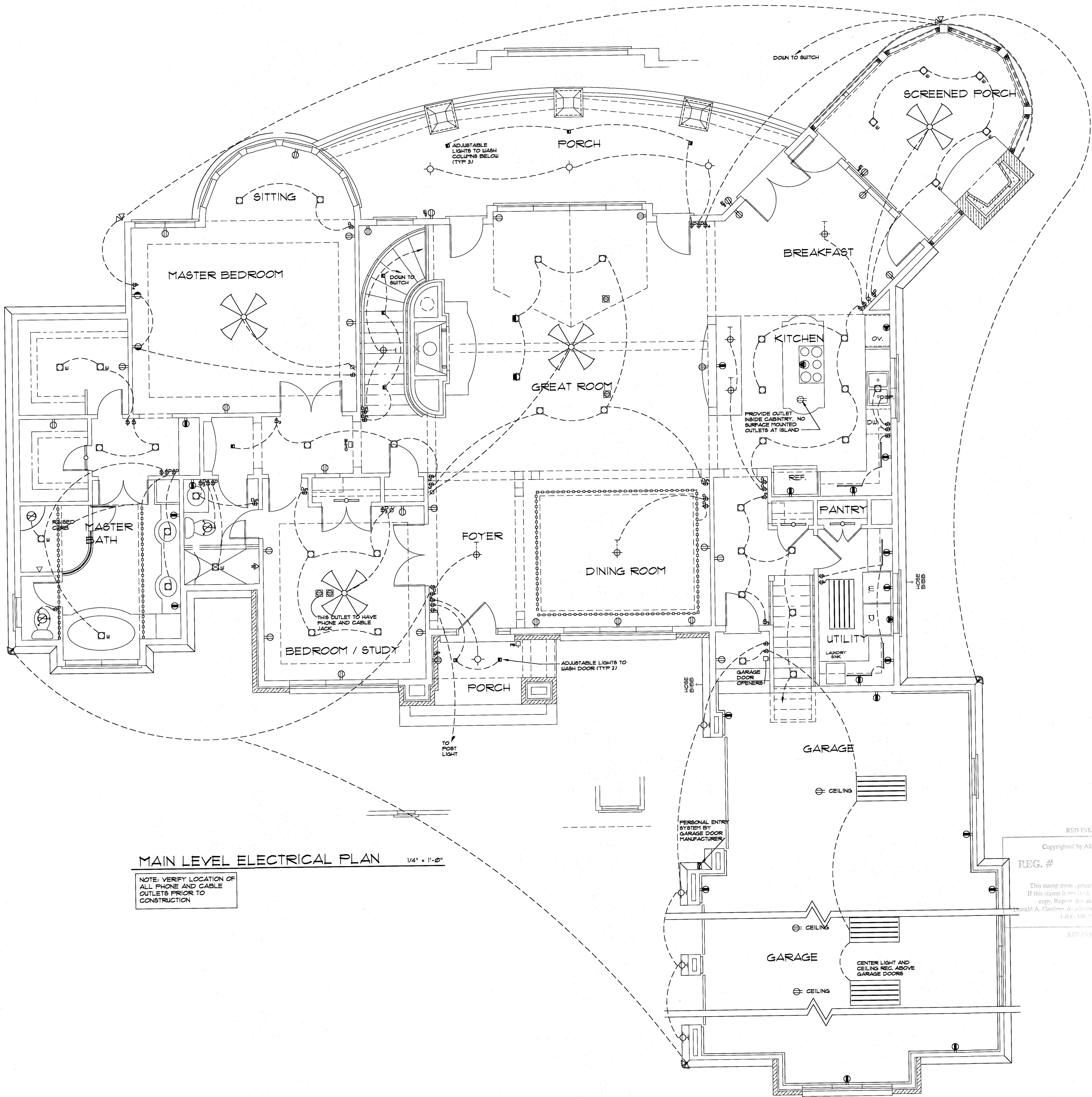
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDED TYPE TYPICAL)
	WEATHER PROOF DUPLEX OUTLET
	SWITCHED DUPLEX OUTLET
	ABOVE COUNTER LOCATION
	CEILING MOUNTED DUPLEX OUTLET FOR GARAGE DOOR OPENER
	FLUSH FLOOR DUPLEX OUTLET, VERIFY QUANTITY & LOCATION WITH OWNER
	220 VOLT OUTLET OR CONNECTION
	JUNCTION BOX
	CABLE TV DROP
	TELEPHONE DROP
	DOOR BELL
	DOOR BELL CHIME LOCATION
	PUSH BUTTON SWITCH
	HOME AUDIO CONTROL DROP
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	SWITCH w/ DIMMER
	3-WAY SWITCH w/ DIMMER
	4-WAY SWITCH w/ DIMMER
	DOOR SWITCH
	CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	SUSPENDED CEILING MOUNTED LIGHT FIXTURE
	RECESSED CEILING LIGHT FIXTURE
	RECESSED DIRECTIONAL CEILING LIGHT FIXTURE
	RECESSED LIGHT FIXTURE FOR WET AREA
	RECESSED PIN POINT SPOT LIGHT FIXTURE
	48" FLUORESCENT TUBE LIGHT
	FLUORESCENT CLOSET LIGHT MOUNTED ABOVE DOOR
	RECESSED LOW VOLTAGE PIN POINT SPOT LIGHT
	RECESSED DIRECTIONAL LOW VOLTAGE LIGHT
	RECESSED WALL MOUNTED LIGHT FIXTURE
	CEILING OR WALL MOUNTED TRACK LIGHT
	SUSPENDED CEILING MOUNTED PENDANT LIGHT
	WALL MOUNTED UP-LIGHT
	PORCELAIN LAMP HOLDER
	EXTERIOR CAST ALUMINUM FLOOD LIGHTS
	RECESSED FLOOR MOUNTED DIRECTIONAL LIGHT
	MINIATURE LOW VOLTAGE LIGHT
	UNDER CABINET FLUORESCENT LIGHT
	UNDER CABINET HALOGEN CIRCULAR LIGHT
	CEILING MOUNTED PADDLE FAN
	CEILING MOUNTED EXHAUST FAN
	CEILING MOUNTED EXHAUST FAN & LIGHT
	CEILING MOUNTED EXHAUST FAN, LIGHT & HEATER

NOTES

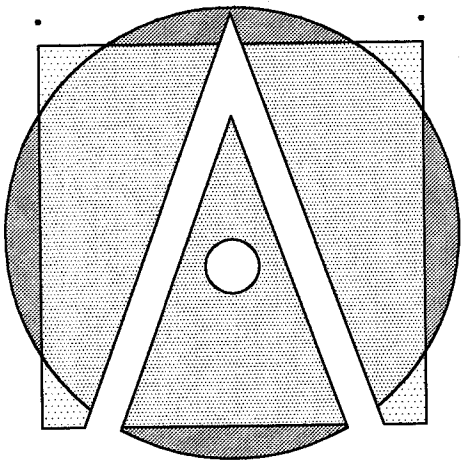
- PROVIDE POWER WIRING FOR HVAC EQUIP.
- ALL MULTIPLE SWITCHES TO BE GANGED AND LOCATED AS CLOSE TO DOOR AS POSSIBLE
- ABOVE COUNTER OUTLETS TO BE MOUNTED HORIZONTAL
- ALL APPLIANCES TO BE ON INDIVIDUAL CIRCUIT
- SUB-CONTRACTOR TO VERIFY LOCATION OF DIMMER AND 3/4 WAY SWITCHES
- PROVIDE G.F.I. OUTLETS AS REQUIRED BY CODE
- PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE
- SMART WIRE SUB-CONTRACTOR TO VERIFY EXTENT AND LOCATIONS OF WIRING FOR COMPUTER, AUDIO/VIDEO, ETC. WITH OWNER PRIOR TO INSTALLATION

MAIN LEVEL ELECTRICAL PLAN 1/4" = 1'-0"

NOTE: VERIFY LOCATION OF ALL PHONE AND CABLE OUTLETS PRIOR TO CONSTRUCTION

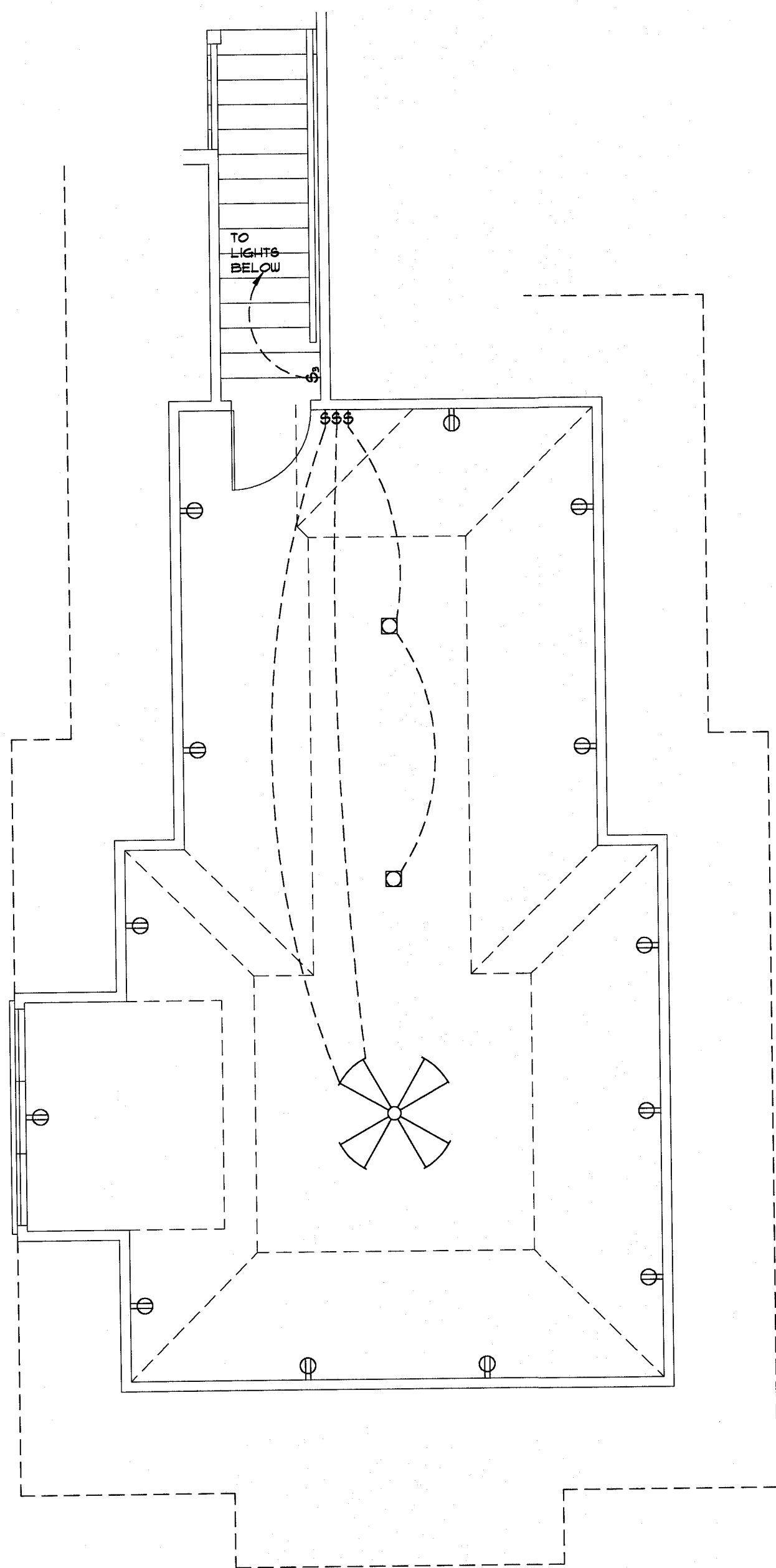


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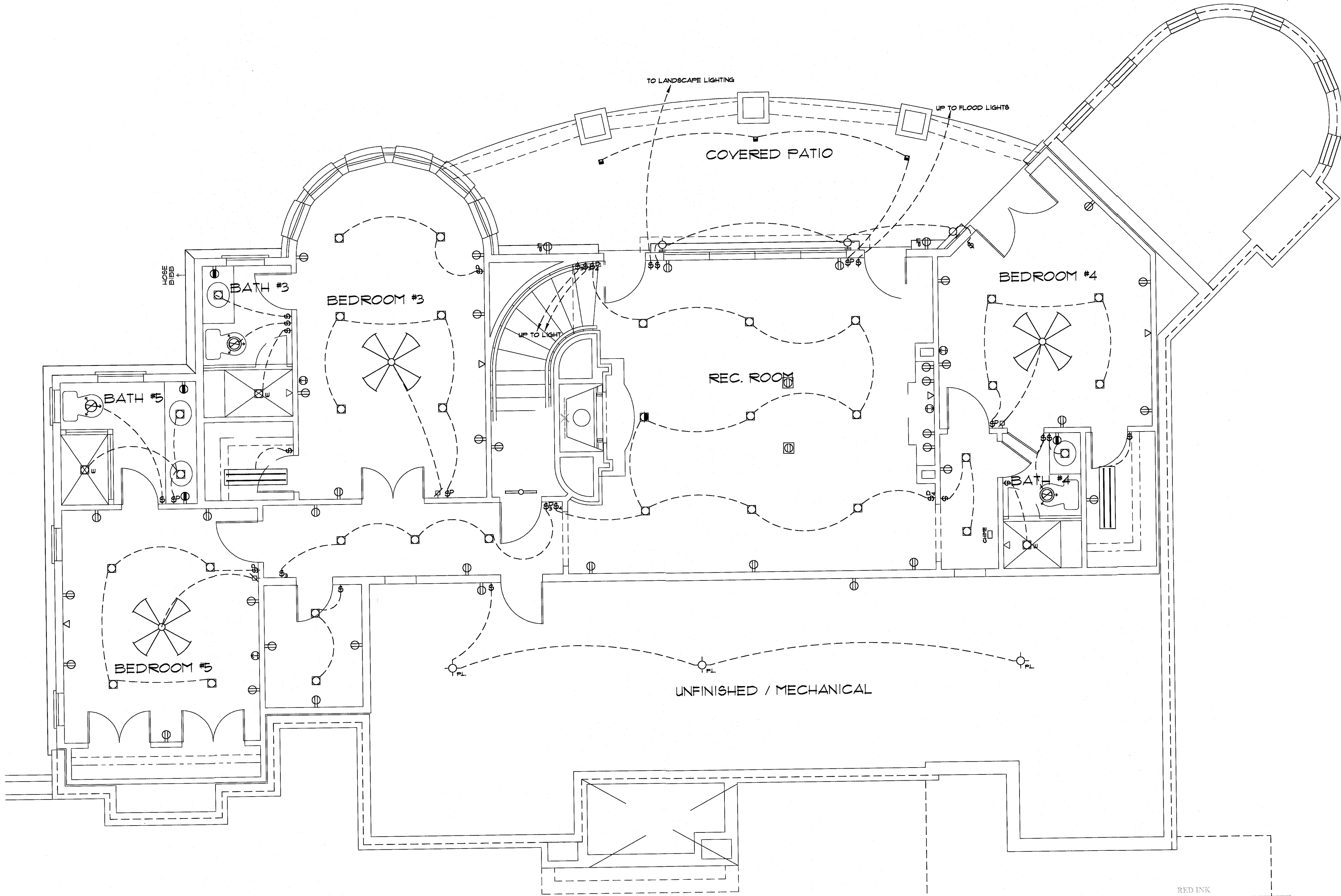


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BONUS ROOM ELECTRICAL PLAN 1/4" = 1'-0"



LOWER LEVEL ELECTRICAL PLAN 1/4" = 1'-0"

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SHEET OF	14 14
DRAWING DESCRIPTION	LOWER LEVEL ELECTRICAL PLAN